



**Planning Commission
Regular Meeting
June 18, 2019
7:00 p.m.**

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF MINUTES
- May 21, 2019
5. CORRESPONDENCE / BOARD REPORTS
6. APPROVAL OF AGENDA
7. PUBLIC COMMENT: Restricted to (3) minutes regarding items not on this agenda
8. NEW BUSINESS
 - A. **SUB 2019-01** Final Plat Review Four Hacks LLC River Rd.
 - B. **SUP 2019-04** Public and Institutional use. Isabella Conservation District as authorized by owner Steve Gramza
 - C. **TXT 2019-01** Lone Maple Development, LLC (Postponed from 5/21/19)
 - D. **SPR 2019-06** Mitchell's Deli/McGuirk Mini Storage. Deli/Convenience Store expansion and Filling Station. (*Review and approve final site plan*)
 - E. **SUP 2018-03** Reconsider Special Use Bank with a Drive Thru located at 2000 Parkland Rd. Owner: Central Development Group LLC
9. OTHER BUSINESS
10. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue
11. FINAL BOARD COMMENT
12. ADJOURNMENT

CHARTER TOWNSHIP OF UNION
Planning Commission
Regular Meeting

A regular meeting of the Charter Township of Union Planning Commission was held on May 21, 2019 at the Township Hall.

Meeting was called to order at 7:00 p.m.

Roll Call

Present: Buckley, Clerk Cody, Darin, Fuller, Mielke Shingles, Squattrito, and Webster

Excused: LaBelle

Others Present

Township Planner, Peter Gallinat and Secretary, Jennifer Loveberry

Approval of Minutes

Webster moved **Fuller** supported the approval of the April 16, 2019 regular meeting as amended. **Vote: Ayes: 8 Nays: 0. Motion carried.**

Correspondence / Reports

Approval of Agenda

Webster moved **Buckley** supported approval of the agenda as presented. **Vote: Ayes: 8 Nays 0. Motion carried.**

Public Comment – 7:06 p.m.

No comments were offered.

New Business

**A. TXT 2019-01 Solar Energy Systems Regulations Lone Maple Development, LLC
Property located at 5889 E. Broadway (Recommend text amendment of the Zoning Ordinance to the Board of Trustees)**

Introduction by Township Planner, applicant desires to construct accessory structure solar panels in the rear yard for onsite solar energy consumption

Public Hearing – Open 7:10 p.m.

No comments were offered.

Applicant, Ryan Smith, shared that Lone Maple Development, LLC requests an immediate text amendment to move forward with the project, needing installation by the end of 2019.

Discussion by the Planning Commission

Buckley moved **Shingles** supported to forward the proposed amendment to the County Planning Commission for review and postpone recommendation until the June 18, 2019 Planning Commission meeting. **Vote: Ayes: 7 Nays: 1. Motion carried.**

B. SUB 2019-01 Preliminary Plat Review Amended Plat of Village of Isabella City, Four Hack LLC located at River Rd.

Introduction by Township Planner.

Tim Bebee, representative of applicant, stated the parcel was a part of what was known as the Village of Isabella Plat. Certain roads within this plat were recently abandoned in court for this project to move forward.

Buckley moved **Webster** supported to approve the preliminary plat per court order as defined on plat and forward to the Township Board of Trustees for a preliminary review and approval. **Vote: Ayes: 8 Nays: 0 Motion carried.**

*Recusal by Fuller, per section VII. Conflict of Interest of the Planning Commissions adopted By-Laws for both Items C & D.

C. SPR 2019-05 Site Plan Review PID 14-020-20-001-05 Commercial Property located at Lincoln Rd./E. Remus Rd (M20) SUP 2019-02 approved by PC 4/16/19 & approved by Board of Trustees 5/8/19 (Review / Final Site Plan approval contingent on outside agencies)

Introduction by Township Planner.

Public Hearing – Open 8:18 p.m.
No comments were offered.

Tim Bebee, CMS&D, representative of the applicant, explained the expansion of the existing approved self-storage operation

Mielke moved **Cody** supported approval of SPR 2019-05, with the condition that storm water management is obtained and approved. **Vote: Ayes: 7 Nays: 0 Motion carried.**

D. SUP 2019-03 Mitchell's Deli/ McGuirk Mini Storage filling station Property located at 1982 E. Remus (Recommend special use to the Board of Trustees)

Introduction by Township Planner.

Joseph Quandt, Traverse City Attorney and Tim Beebe, CMS&D represented applicant.

Mr. Quandt stated that the applicant is requesting special use for a filling station for the sale of gasoline.

Mr. Bebee provided plans of the proposed site.

Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Lisa	Cody	11/20/2020
2-Chair	Phil	Squatrito	2/15/2020
3- Vice Chair	Bryan	Mielke	2/15/2021
4-Secretary	Alex	Fuller	2/15/2020
5 - Vice Secretary	Mike	Darin	2/15/2022
6	Stan	Shingles	2/15/2021
7	Ryan	Buckley	2/15/2022
8	Denise	Webster	2/15/2020
9	Doug	LaBelle II	2/15/2022
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1-Chair	Tim	Warner	12/31/2019
2-PC Rep / Vice Chair	Bryan	Mielke	2/18/2021
3-Secretary	Jake	Hunter	12/31/2019
4- Vice Secretary	Andy	Theisen	12/31/2019
5	Taylor	Sheahan-Stahl	12/31/2021
Alt. #1	John	Zerbe	12/31/2019
Alt. #2	Liz	Presnell	2/15/2021
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2020
2	James	Thering	12/31/2020
3	Bryan	Neyer	12/31/2020
Alt #1	Randy	Golden	1/25/2021
Citizens Task Force on Sustainability (4 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Don	Long	12/31/2020
2	Mike	Lyon	12/31/2020
3	vacant seat		12/31/2018
4	Phil	Mikus	11/20/2020
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herron	12/31/2019
2	Richard	Jakubiec	12/31/2019
3	Andy	Theisen	12/31/2019
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2020
2	John	Dinse	12/31/2019
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2019
2	Lynn	Laskowsky	12/31/2021



Board Expiration Dates

EDA Board Members (11 Members) 4 year term			
#	F Name	L Name	Expiration Date
1	Thomas	Kequom	4/14/2023
2	James	Zalud	4/14/2023
3	Richard	Barz	2/13/2021
4	Robert	Bacon	1/13/2023
5	Ben	Gunning	11/20/2020
6	Marty	Figg	6/22/2022
7	Sarvjit	Chowdhary	1/20/2022
8	Cheryl	Hunter	6/22/2019
9	Vance	Johnson	2/13/2021
10	Michael	Smith	2/13/2021
11	David	Coyne	3/26/2022
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2020
2	Vacant		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Brian	Smith	12/31/2019
Sidewalks and Pathways Prioritization Committee (2 year term)			
#	F Name	L Name	Expiration Date
1 BOT Representative	Phil	Mikus	7/26/2019
2 PC Representative	Denise	Webster	8/15/2020
3 Township Resident	Sherrie	Teall	8/15/2019
4 Township Resident	Jeremy	MacDonald	10/17/2020
5 Member at large	Connie	Bills	8/15/2019

Applicants Dean and Jamie Mitchell addressed the Planning Commission stating their desire to construct a new building for the operation of the deli and filling station.

The Planning Commission reviewed section 30.3 (1-10) of the zoning ordinance and 30.4.I Special Uses Permitted – Filling Stations for the Sale of Gasoline, Oil, Minor Accessories, and other Incidental Services (1-6), as well as, referencing section 30.4.B.2 (a-d) Driveways and parking areas as specified).

Shingles moved **Cody** supported to recommend approval of SUP 2019-02 to the Board of Trustees. **Vote: Ayes: 7 Nays: 0 Motion carried.**

Other Business

Chair Squattrito suggested emailing the Commissioners of the June 4th Special Meeting request to meet with the consultant for part 2 of the zoning ordinance rewrite to confirm availability.

Extended Public Comment

No comments were offered.
No written correspondence received.

Final Board Comment

No comments were offered.

Adjournment – Chairman Squattrito adjourned the meeting at 9:06 p.m.

APPROVED BY:

Alex Fuller - Secretary
Mike Darin – Vice Secretary

(Recorded by Jennifer Loveberry)



Peter Gallinat, Township Planner
pgallinat@uniontownshipmi.com
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Phone 989-772-4600 Ext. 241
Fax 989-773-1988

TO: Planning Commission
FROM: Township Planner

New Business

SUBJECT: (A) SUB 2019-01 Final Plat Review Four Hacks LLC River Rd.

Applicant: Four Hacks LLC

Owner: Four Hacks LLC

Location: PID14-087-00-002-02 E. River Rd. MT PLEASANT, MI 48858

Current Zoning: R-2A (One and Two Family Low Density Residential District)

Adjacent Zoning: B-5, R-2A

Future Land Use/Intent: Rural Buffer: Rural Buffer areas generally do not have sewer and water, but are appropriate for agricultural, low density residential, and other uses allowed by zoning. Typically this buffer is located on the fringe between rural and more urbanized areas. Rezoning requests for more intensive uses should be limited, especially those requiring extended utility service.

Current Use: Vacant property. Village of Isabella City Plat

Reason for Request: To amend the Village of Isabella City Plat

History: This Final Plat amendment to the Village of Isabella City Plat has been court ordered. The Planning Commission reviewed and accepted a Preliminary Plat Review at the May PC meeting. The Board of Trustees will conduct a preliminary review at the June 12, 2019 Township Board Meeting.

Objective of board: Review the Final Plat as compared to the court ordered amended final plat to find that they match. Recommend approval of final plat to the Board of Trustees.

Recommendation from Township Planner

Approve final plat and forward to the Township Board of Trustees for a final review and approval by Board of Trustees.

Peter Gallinat
Township Planner

Received
ISABELLA COUNTY, MI
04-25-2019 07:59 am

STATE OF MICHIGAN
IN THE ISABELLA COUNTY TRIAL COURT

201900003107
Filed for Record in
ISABELLA COUNTY, MI
KAREN R. JACKSON"
04-25-2019 At 08:05:28 am.
JUDGEMENT 30.00
Liber 1845 Page 22 - 48

FOUR HACKS, LLC,
a Michigan Limited Liability Company,

201900003107
MHOK
PICK UP

Plaintiff,

v

Case No: 18-15217 -CZ
Honorable Paul H. Chamberlain

UNION TOWNSHIP, a Michigan Township;
ROBERT WILLOUGHBY, Isabella County Drain
Commissioner; JOHN GRAHAM, Chairperson
Board of Isabella County Road Commission;
SHELLY EDGERTON, Director, Michigan Department
of Licensing & Regulatory Affairs, f/k/a Michigan
Department of Energy, Labor & Economic Growth;
KIRK T. STEUDLE, Director, Michigan Department
of Transportation; KEITH CREAGH, Director,
Michigan Department of Natural Resources;
CONSUMERS ENERGY COMPANY, a/k/a
CONSUMERS POWER COMPANY, a Michigan
Corporation; DTE GAS COMPANY, a/k/a
MICHIGAN CONSOLIDATED GAS COMPANY,
a Michigan Corporation; MEMORIAL GARDENS OF
MT. PLEASANT, a MICHIGAN CORPORATION;
KATHY WOODBURY, an unmarried woman, a/k/a
KATHY POSCHEN; ALVIE HAYNES AND HEATHER
HAYNES, husband and wife; CHEMICAL BANK
AND TRUST COMPANY, a Michigan Corporation;
MICHIGAN LAND BANK FAST TRACK AUTHORITY;
LYLE B. KELLER; KTE PROPERTIES LLC, a Michigan
Limited Liability Company; ISABELLA BANK, a Michigan
Banking Corporation; ROBERT PAUL, SR. AND
NIVIA L. PAUL, husband and wife; CSC DEVELOPMENT,
LLC, a Michigan Limited Liability Company; CHRISTINA
L. DART; JOHN E WEJROWSKI, a single man; LARRY
LINN PIERSON AND MARJORIE JO PIERSON, husband
and wife; MERS, a Delaware Corporation; TRANEX
FINANCIAL, INC., a Michigan Corporation; FREEDOM
MORTGAGE CORPORATION; MICHIGAN HOMEOWNER
ASSISTANCE NONPROFIT HOUSING CORPORATION;
JACK L. MCBRIDE, TRUSTEE OF THE JACK L. MCBRIDE
REVOCABLE LIVING TRUST DATED JANUARY
6, 2010; JIM SHA HOLDING, LLC, a Michigan LLC;
RICHARD HAYNES AND JANET HAYNES, husband

JUDGMENT TO
VACATE PART OF
A RECORDED PLAT

I CERTIFY THAT THIS IS A CORRECT
AND COMPLETE DOCUMENT FROM THE
ORIGINAL COURT RECORDS NOW
REMAINING IN MY OFFICE

Mindé B. Lux 4-24-19
Mindé B. Lux Date
Isabella County Clerk

FILED

APR 24 2019

COUNTY CLERK
ISABELLA COUNTY
MT. PLEASANT, MICH.

and wife; MERCANTILE BANK OF MICHIGAN;
THE ROSARY; JUDITH A. ALBRECH, a single
woman; NEW EXECUTIVE MORTGAGE LLC, a
Michigan LLC; PAMELA L. GRAY, a single woman;
FIRSTBANK, a Michigan Banking Corporation;
MICHAEL V. THEUNISSEN AND CHRIS W.
THEUNISSEN, TRUSTEES OF THE REVOCABLE
TRUST AGREEMENT FOR WILLIAM VZ
THEUNISSEN AND DOROTHY V THEUNISSEN
DATED OCTOBER 23, 1996; ISABELLA COUNTY
CONDOMINIUM PLAN NO. 23, a/k/a COUNTY
CLUB EAST CONDOMINIUM;
JOANNE H CHAPPELL-THEUNISSEN,
a married woman; FIRSTBANK MORTGAGE
COMPANY, a Michigan Banking Corporation;
WILLIAM F. SOWLE, JR. AND WILLIAM F. SOWLE III,
CO-TRUSTEES UNDER THE MARGARET ANN
SOWLE FAMILY TRUST; WILLIAM LEMCKE
AND LOIS A. LEMKE, husband and wife;
ISABELLA COMMUNITY CREDIT UNION;
ISABELLA COUNTY CONDOMINIUM
SUBDIVISION PLAN NO. 22, a/k/a COUNTY
CLUB WEST CONDOMINIUM; WALTER R.
SHCNEIDER, a single man; UNDER PAR INVESTMENT
GROUP, LLC, a Michigan LLC; MOUNT PLEASANT
COUNTRY CLUB; GAS REAL ESTATE INVESTMENTS,
LLC; FRANK E. EPPLE, TRUSTEE OF THE FRANK E.
EPPLE REVOCABLE LIVING TRUST DATED
NOVEMBER 5, 2004; H. PAUL DEYOUNG AND
MARILYN DEYOUNG, husband and wife;
JULIE B. YOON AND SUNG K. YOON, wife and
husband; WILLIAM R. COOK AND JONEIL R. COOK,
husband and wife; STEVEN M. WIECZOREK, TRUSTEE
OF THE REVOCABLE TRUST AGREEMENT OF
STEVEN M. WIECZOREK DATED DECEMBER 10,
2013; JOSEPH E. GALGOCI AND CHARLOTTE R.
GALGOCI, husband and wife; HERBERT L. WYBNEGA
AND JUDY WYBENGA, husband and wife; MICHIGAN TOLEDO
PIPELINE CO.; WOLVERINE PIPELINE COMPANY,
a Delaware Corporation,

Defendants.

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JUDGMENT TO VACATE PART OF A RECORDED PLAT

At a session of court held in the courthouse in
Isabella County, Michigan, on April 24, 2019
Present: Honorable Paul H. Chamberlain, Chief Trial Judge

This matter has come before the Court on Plaintiff's Motion for Entry of Judgment to vacate portions of streets and alleys in a plat in Union Township, Isabella County, Michigan (Plaintiff's Motion), to document the resolution of this case with this Judgment to Vacate Part Of A Recorded Plat, being portions of Chippeway Street, Isabella Street, and Alley No. 3 in the plat of Map of Isabella City, Union Township, Isabella County, Michigan (the Judgment); certain defendants have answered Plaintiff's complaint; certain other defendants have been defaulted after not appearing in this action (the Defaulting Defendants); certain other defendants have not answered Plaintiff's complaint but had given their consent to the relief requested by Plaintiff (the Consenting Defendants).

Plaintiffs have reduced the portions of Chippeway and Isabella Streets and Alley No. 3 they wish to vacate from what was listed in their original Complaint. All defendants have been given notice of Plaintiff's Motion, and have had the opportunity to appear at the hearing, and the court is otherwise fully advised.

RECITALS

1. Plaintiff is the owner of record of property located within Blocks 2, 3, 4 and 5, and 6, in the plat of the Map of Village of Isabella City, Union Township, Isabella County, Michigan, as shown in **Exhibit A**.
2. On November 6, 2018 this action was filed pursuant to the Land Division Act,

MCL 560.221, et seq., seeking to have the Court vacate portions of Chippeway and Isabella Streets and Alley No. 3 in Plaintiff's portion of the plat of the Map of Isabella City so that Plaintiff could develop its property. No streets or alleys have ever been used or developed in Plaintiff's portion of the Plat

3. During the course of this matter Plaintiff decided to reduce the portions of streets and alleys to be vacated from what was originally proposed in its Complaint. The original proposal is attached as **Exhibit B**. The current proposal is attached as **Exhibit C**. The portions of streets and alleys to be vacated are now entirely within the boundaries of Plaintiff's property so no adjoining properties will be affected by the vacation.
4. Defendant Union Township is the municipality in which the plat of the Map of Isabella City is located and was joined as a defendant in this action as required by MCL. 560.224a(1)(a) and (b).
5. Defendant Robert Willoughby is the Drain Commissioner for Isabella County, Michigan, and was joined as a defendant in this action as required by MCL560.224a(1)(d).
6. Defendant John Graham is the Chairperson for the Board of the Isabella County Road Commission and was joined as a defendant in this action as required by MCL 560.224a(1)(d).
7. Defendant Shelly Edgerton is the former Director of the Michigan Department of Licensing and Regulatory Affairs, f/k/a Michigan Department of Energy, Labor and Economic Growth, and was joined as a defendant in this action as required by MCL560.224(1)(c).
8. Defendant Kirk T. Steudle is the former Director of the Michigan Department

- of Transportation and was joined as a defendant in this action as required by MCL 560.224a(1)(f).
9. Defendant Keith Creagh is the former Director of the Michigan Department of Natural Resources and was joined as a defendant in this action as required by MCL 560.224a(1)(f).
 10. Defendant Consumers Energy Company, a/k/a Consumers Power Company, is a Michigan Corporation and was joined as a defendant in this action as required by MCL 560.224a(1)(e).
 11. Defendant DTE Gas Company, a/k/a Michigan Consolidated Gas Company is a Michigan Corporation and was joined as a defendant in this action as required by MCL 560.224a(1)(e).
 12. The remaining Defendants are owners of record title of real property located within 300 feet of the portion of the plat of the Map of Isabella City that is the subject of this complaint and/or are persons of record claiming under those owners. They were joined as defendants in this action as required by MCL 560.224a(1)(a).
 13. Plaintiff represents that all parties have been joined as required by MCL 560.224(a)(1). Plaintiff further represents that service of the complaint was made on all defendants.
 14. At a public meeting held on March 13, 2019 Defendant Union Township approved by a vote of its board of directors to consent to the abandonment of the portions of streets and alleys described herein (as amended), in compliance with MCL 560.226. A copy of the Township's consent will be filed and recorded with the Isabella County Register of Deeds, and a copy of the recorded resolution provided to the Michigan Department of Licensing

and Regulatory Affairs, Office of Land Survey and Remonumentation. A copy of the Amended Petition for Abandonment signed by the Township is attached as **Exhibit D**.

15. At a meeting on March 28, 2019, Defendant Isabella County Road Commission approved the abandonment the portions of streets and alleys described herein (as amended) in accordance with MCL 560.226. A copy of the Resolution of the Isabella County Road Commission approving the Amended Petition for Abandonment, which will be filed with the Register of Deeds, is attached as **Exhibit E**.
16. Plaintiff represents that the following consenting Defendants gave their consent to the relief originally requested by Plaintiff in its complaint. All consents have been filed with this Court.

Union Township (consent to relief as amended)
 Isabella County Road Commission (consent to relief as amended)
 Michigan Department of Transportation
 Michigan Department of Natural Resources
 Michigan Land Bank Fast Track Authority
 Christina L. Dart
 Larry Linn Pierson
 Marjorie Jo Pierson
 Freedom Mortgage Corporation
 Mercantile Bank
 Judith A. Albrech
 Firstbank
 Firstbank Mortgage
 Isabella Community Credit Union
 Gas Real Estate Investments
 Herbert L. Wybenga
 Judy Wybenga
 Wolverine Pipeline Company

17. Plaintiff seeks for this court to enter Judgment against each of the Consenting Defendants.
18. Plaintiff represents that defaults were entered against the following

Defaulting Defendants who failed to appear. and were filed with the Court:

Isabella County Drain Commission
 Memorial Gardens of Mt. Pleasant
 Kathy Woodbury, a/k/a Kathy Poschen
 Alvie Haynes
 Heather Haynes
 Chemical Bank
 Estate of Lyle B. Keller
 KTE Properties, LLC
 Isabella Bank
 Robert Paul, Sr.
 Nivia L. Paul
 CSC Development
 John E. Wejrowski
 MERS (Mortgage Electronic Registration Systems)
 Tranex Financial, Inc.
 Michigan Homeowner Assistance Nonprofit Housing Corporation
 Jack L. McBride, Trustee of the Jack L. McBride Revocable Living Trust
 dated January 6, 2010
 Jim Sha Holding
 Richard Haynes
 Janet Haynes
 The Rosary
 New Executive Mortgage
 Pamela L. Gray
 Michael V. Theunissen and Chris W. Theunissen, Trustees of the Revocable
 Trust Agreement for William Vz. Theunissen and Dorothy V
 Theunissen dated October 23, 1996
 Isabella County Condominium Subdivision Plan No. 23, a/k/a County Club
 East Condominium
 Joanne H. Chappell-Theunissen
 William F. Sowle, Jr. and William F. Sowle III, Co-Trustees under the
 Margaret Ann Sowle Family Trust
 William Lemke
 Isabella County Condominium Subdivision Plan No. 22, a/k/a Country Club
 West Condominium
 Walter R. Schneider
 Under Par Investment Group
 Mount Pleasant Country Club
 Frank E. Epple, Trustee of the Frank E. Epple Revocable Living Trust dated
 November 5, 2004.
 H. Paul DeYoung
 Marilyn DeYoung
 Julie B. Yoon
 Sung K. Yoon
 William R. Cook
 Joneil R. Cook
 Steven M. Wiczorek, Trustee of the Revocable Trust Agreement of Steven

M. Wieczorek dated December 10, 2013
Joseph E. Glogoci
Charlotte R. Glogoci
Michigan-Toledo Pipeline Company

19. Plaintiff seeks for this court to enter this Judgment against each of the Defaulting Defendants. This Judgment is, as to the Defaulting Defendants, a Default Judgment.
20. During the course of this matter Plaintiff learned Defendant Lois A. Lemke predeceased her husband, Defendant William Lemcke, leaving Mr. Lemcke as the sole owner of the property, which was owned as husband and wife. Defendant Lois A. Lemke therefore is not a necessary party to Plaintiff's Complaint, this Motion, or Plaintiff's proposed Judgment.
21. As to the remaining Defendants, there is no issue of material fact and Plaintiff is entitled to the relief it seeks as a matter of law. Plaintiff seeks for this Court to enter this Judgment against each of the Remaining Defendants.

IT IS ORDERED THAT:

1. The portions of Chippeway and Isabella Streets and Alley No. 3 located in the plat of the Map of Isabella City, Union Township, Isabella County, Michigan, as set forth in **Exhibit C**, are hereby vacated.
2. Title to the above portions of the vacated streets and alleys in its portion of the plat of the Map of Isabella City shall vest in Plaintiff, pursuant to MCL 560.227a(1).
3. Lot 12, Block 3 and the adjoining one half of the vacated portion of Chippeway Street shall be consolidated into a new lot to be identified by the first available consecutive lot number in Block 3 in the plat of the Map of

- Isabella City on an amended plat in substantial compliance with the attached **Exhibit F.**
4. Plaintiff's Lots 4-11, Block 3 and the adjoining one halves of the vacated portions of Chippeway and Isabella Streets and the vacated portion of Alley No. 3 in Block 3 shall be consolidated into a new lot to be identified by the second available consecutive lot number in Block 3 in the plat of the Map of Isabella City on an amended plat in substantial compliance with the attached **Exhibit F.**
 5. Plaintiff's Lots 1-6, Block 4 and the adjoining one halves of the vacated portions of Chippeway and Isabella Streets shall be consolidated into a new lot to be identified by the first available consecutive lot number in Block 4 in the plat of the Map of Isabella City on an amended plat in substantial compliance with the attached **Exhibit F.**
 6. Plaintiff's Lots 1-6, Block 5 and the adjoining one halves of the vacated portions of Chippeway and Isabella Streets shall be consolidated into a new lot to be identified by the first available consecutive lot number in Block 5 in the plat of the Map of Isabella City on an amended plat in substantial compliance with the attached **Exhibit F.**
 7. Plaintiff's Lots 7-12, Block 6 and the adjoining one halves of the vacated portions of Chippeway and Isabella Streets shall be consolidated into a new lot to be identified by the first available consecutive lot number in Block 6 in the plat of the Map of Isabella City on an amended plat in substantial compliance with the attached **Exhibit F.**
 8. Only lawfully existing recorded easements, including any easements reserved in this Judgment, located within the amended plat for Lots 4-12,

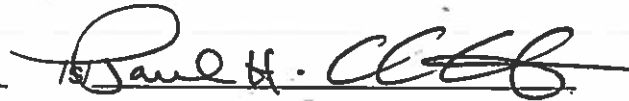
Block 3, Lots 1-6, Block 4, Lots 1-6, Block 5, Lots 7-12, Block 6, the vacated portions of Chippeway and Isabella Streets, and the vacated portion of Alley No. 3 in the plat of the Map of Isabella City shall be and are hereby preserved, and the amended plat shall show only lawfully existing recorded easements.

9. Currently existing private easements of record for public utilities over any part of Plaintiff's portion of the plat of the Map of Village of Isabella City are hereby preserved pursuant to MCL 560.226(3). Easement rights notwithstanding, the parties may locate any such access across Plaintiff's property by agreement between the parties, and at Plaintiff's expense.
10. Plaintiff is ordered to make an amended plat for Lots 4 -12, Block 3, Lots 1-6, Block 4, Lots 1- 6, Block 5, Lots 7-12, Block 6, the vacated portions of Chippeway and Isabella Streets, and the vacated portion of Alley No. 3 in the plat of the Map of Isabella City in accordance with all provisions of the Land Division Act and in substantial compliance with the attached **Exhibit F**.
11. **Exhibit F**, attached hereto, is a copy of the Proposed Layout for Amended Plat of the plat of the Map of Isabella City.
12. The newly established lot in the plat of the Map of Village of Isabella City, together with the block numbers shall be used from now on for the legal description for all purposes, including those of assessment, taxation, sale and conveyance in accordance with MCL 560.255.
13. A certified copy of this Judgment shall be recorded by Plaintiff in the office of the Isabella County Register of Deeds within 30 days from the date of entry of this Judgment, as required by MCL 560.228, and a copy of the recorded Judgment shall be provided to the Michigan Department of

Licensing and Regulatory Affairs, Office of Land Survey and Remonumentation along with the submission of the amended plat.

14. Plaintiff shall prepare and file within 90 days of the entry of this Judgment an amended plat for Lots 4-12, Block 3, Lots 1-6, Block 4, Lots 1-6, Block 5, Lots 7-12, Block 6, the vacated portions of Chippeway and Isabella Streets, and the vacated portion of Alley No. 3 in the plat of the Map of Isabella City Union Township, Isabella County, Michigan, for the review and approval of the Michigan Department of Licensing and Regulatory Affairs, Office of Land Survey and Remonumentation. The amended plat must be consistent with this Judgment, in substantial compliance with the attached **Exhibit F**, and in recordable form, in accordance with the Land Division Act, MCL 560.101 et seq.
15. This Judgment applies to the Consenting Defendants, the Defaulting Defendants, and all remaining Defendants.
16. This resolves the last pending claim in this matter and closes this case.

Dated: April 24, 2019

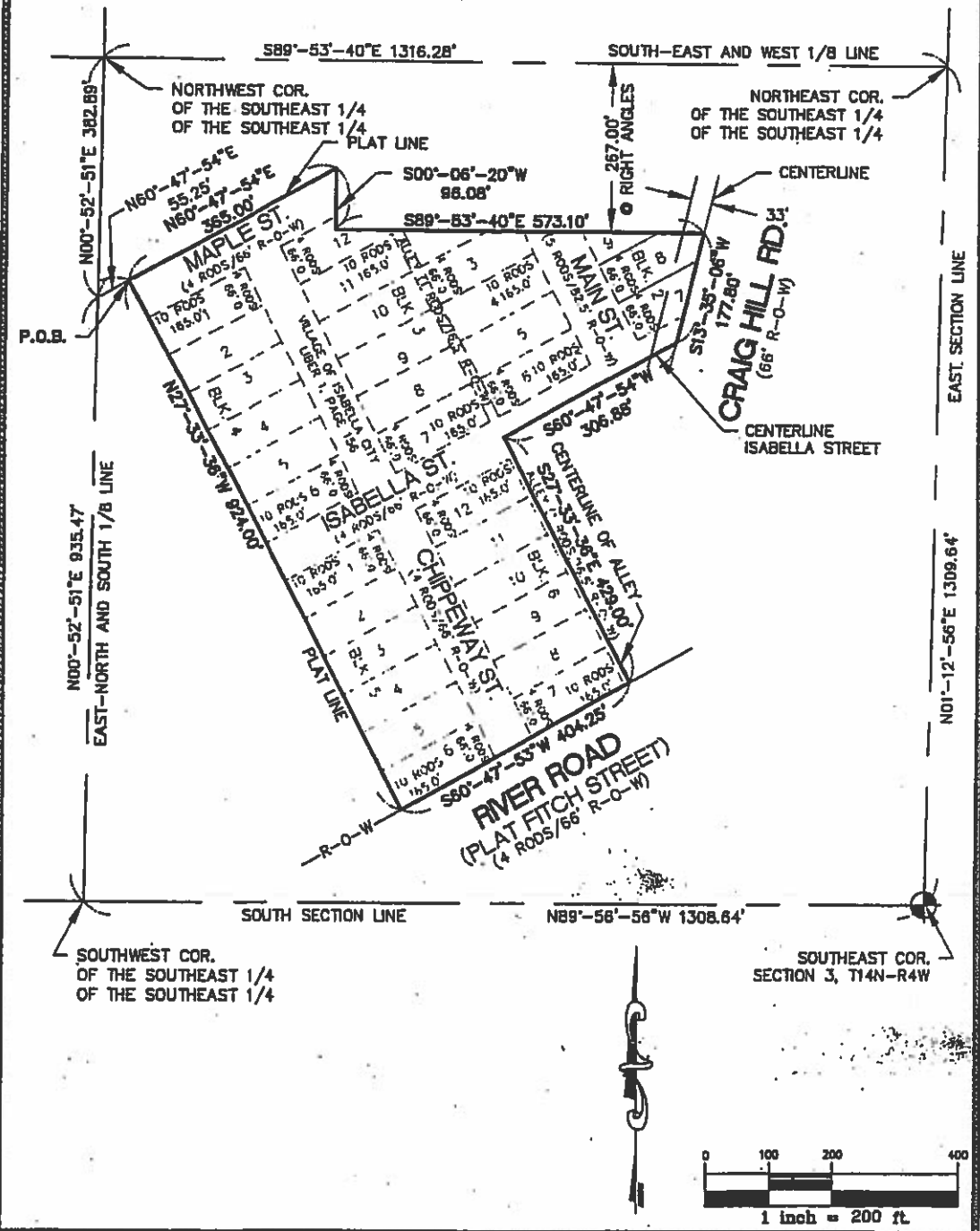


Paul H. Chamberlain, Chief Trial Judge


Drafted By:
Paul A. Blanco (P68712)
Martineau, Hackett, O'Neil & Klaus, PLLC
555 N. Main St.
Mt. Pleasant, MI 48858
(989) 773-9961

SKETCH / DESCRIPTION

A PART OF SOUTHEAST 1/4 OF THE SOUTHEAST 1/4,
 FRACTIONAL SECTION 3 T.14 N.- R.4 W.,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
 AND PART OF BLOCKS 2-6 OF THE VILLAGE OF ISABELLA CITY



R - RECORDED	○ - FOUND IRON	⬢ - SECTION CORNER
M - MEASURED	● - SET IRON	⬢ - 1/8 CORNER
□ - SET WOOD STAKE	⊙ - CONCRETE MONUMENT	



CMS & D
 SURVEYING / ENGINEERING
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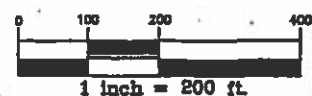
SCALE: 1" = 200'	DRAWN BY: WRE
SURVEY DATE: N/A	CHECKED BY: TELB
DATE: 8-21-18	JOB NUMBER: 1711-144
REVISED:	SHEET NUMBER: 1 OF 2

EXHIBIT
A

A PART OF SOUTHEAST 1/4 OF THE SOUTHEAST 1/4,
 FRACTIONAL SECTION 3 T.14 N.— R.4 W.,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
 AND PART OF THE VILLAGE OF ISABELLA CITY



- AREAS TO BE VACATED
- PROPOSED AMENDED PLAT BOUNDARY
- PROPERTY BOUNDARY 4 HACKS LLC



R - RECORDED M - MEASURED □ - SET WOOD STAKE	○ - FOUND IRON ● - SET IRON ⊙ - CONCRETE MONUMENT	⊕ - SECTION CORNER ⊕ - 1/8 CORNER	
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	SURVEY DATE: N/A	CHECKED BY: TELE	
	DATE: 10-24-18	JOB NUMBER: 1711-144	
	REVISED: 2-25-19	SHEET NUMBER: 1 OF 2	

A PART OF SOUTHEAST 1/4 OF THE SOUTHEAST 1/4,
 FRACTIONAL SECTION 3 T.14 N.- R.4 W.,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
 AND PART OF THE VILLAGE OF ISABELLA CITY

PART OF CHIPPEWAY STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF CHIPPEWAY STREET FROM THE SOUTH RIGHT-OF-WAY LINE OF MAPLE STREET TO THE NORTH RIGHT OF WAY LINE OF RIVER ROAD, PLATTED AS FITCH STREET.


PART OF ISABELLA STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF ISABELLA STREET FROM THE WEST LINE OF SAID PLAT TO THE EAST LINE OF LOT 7 OF BLOCK 3 AND THE EAST LINE OF LOT 12 OF BLOCK 6 OF SAID PLAT.

ALLEY WITHIN BLOCK 3 TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 1 ROD (16.50 FEET) ALLEY RIGHT OF WAY BOUND ON THE SOUTH BY ISABELLA STREET AND THE NORTH BY THE NORTH LINES OF LOTS 4 & 9 OF BLOCK 3 OF SAID PLAT.

REVISION 3-22-19: CORRECTION IN DESCRIPTION FOR THE VACATION OF ISABELLA STREET

R - RECORDED M - MEASURED □ - SET WOOD STAKE	○ - FOUND IRON ● - SET IRON ⊗ - CONCRETE MONUMENT	⊕ - SECTION CORNER ⊖ - 1/8 CORNER	
	<p align="center">CMS & D</p> <p align="center">SURVEYING / ENGINEERING</p> <p>510 W. PICKARD STREET, SUITE C MT. PLEASANT, MICHIGAN 48858 PHONE: (989) 775-0758 FAX: (989) 775-8012 EMAIL: info@cms-d.com</p>	SCALE: 1" = 200'	DRAWN BY: WRE
		SURVEY DATE: N/A	CHECKED BY: TELB
		DATE: 10-24-18	JOB NUMBER: 1711-144
		REVISED: 2-25-19	SHEET NUMBER: 2 OF 2

SKETCH / DESCRIPTION

A PART OF SOUTHEAST 1/4 OF THE SOUTHEAST 1/4,
FRACTIONAL SECTION 3 T.14 N.— R.4 W.,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
AND PART OF THE VILLAGE OF ISABELLA CITY



- AREAS TO BE VACATED

EXHIBIT
 B



1 inch = 200 ft

OR LIB 1845 PG 38

SKETCH / DESCRIPTION

A PART OF SOUTHEAST 1/4 OF THE SOUTHEAST 1/4,
 FRACTIONAL SECTION 3 T.14 N.- R.4 W.,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
 AND PART OF THE VILLAGE OF ISABELLA CITY

PART OF CHIPPEWAY STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF CHIPPEWAY STREET FROM THE NORTH LINE OF SAID PLAT TO THE NORTH RIGHT OF WAY LINE OF RIVER ROAD, PLATTED AS FITCH STREET.

PART OF ISABELLA STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF ISABELLA STREET FROM THE WEST LINE OF SAID PLAT TO THE WESTERLY RIGHT OF WAY LINE OF CRAIG HILL ROAD, AS CONSTRUCTED.

PART OF MAPLE STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF MAPLE STREET FROM THE WEST LINE OF SAID PLAT TO THE WESTERLY RIGHT OF WAY LINE OF CRAIG HILL ROAD, AS CONSTRUCTED.

PART OF MAIN STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF MAIN STREET FROM THE NORTH LINE OF SAID PLAT TO THE SOUTHERLY RIGHT OF WAY LINE OF ISABELLA STREET.

ALLEY WITHIN BLOCK 3 TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 1 ROD (16.50 FEET) ALLEY RIGHT OF WAY WITHIN BLOCK 3 OF SAID PLAT.

ALLEY WITHIN BLOCK 6 TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 1 ROD (16.50 FEET) ALLEY RIGHT OF WAY WITHIN BLOCK 6 OF SAID PLAT.

ALLEY WITHIN BLOCK 2 TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 1 ROD (16.50 FEET) ALLEY RIGHT OF WAY WITHIN BLOCK 2 OF SAID PLAT FROM THE NORTH LINE OF SAID BLOCK 2 TO THE WESTERLY RIGHT OF WAY LINE OF CRAIG HILL ROAD, AS CONSTRUCTED.

R - RECORDED

M - MEASURED

□ - SET WOOD STAKE

○ - FOUND IRON

● - SET IRON

⊙ - CONCRETE MONUMENT

⊕ - SECTION CORNER

⊕ - 1/8 CORNER



CMS & D
 SURVEYING / ENGINEERING

510 W. PICKARD STREET, SUITE C
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@cms-d.com

SCALE:
 1" = 200'

SURVEY DATE:
 N/A

DATE:
 10-24-18

REVISED:

DRAWN BY:
 WRE

CHECKED BY:
 TELB

JOB NUMBER:
 1711-144

SHEET NUMBER:
 2 OF 2

A PART OF SOUTHEAST 1/4 OF THE SOUTHEAST 1/4,
 FRACTIONAL SECTION 3 T.14 N.- R.4 W.,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
 AND PART OF THE VILLAGE OF ISABELLA CITY



- AREAS TO BE VACATED
- PROPOSED AMENDED PLAT BOUNDARY
- PROPERTY BOUNDARY 4 HACKS LLC



- R - RECORDED
- M - MEASURED
- SET WOOD STAKE

- FOUND IRON
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- CONCRETE MONUMENT

- SECTION CORNER
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SCALE: 1" = 200'	DRAWN BY: WRE
SURVEY DATE: N/A	CHECKED BY: TELB
DATE: 10-24-18	JOB NUMBER: 1711-144
REVISED: 2-25-19	SHEET NUMBER: 1 OF 2

EXHIBIT
C

A PART OF SOUTHEAST 1/4 OF THE SOUTHEAST 1/4,
 FRACTIONAL SECTION 3 T.14 N.- R.4 W.,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
 AND PART OF THE VILLAGE OF ISABELLA CITY

PART OF CHIPPEWAY STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 158, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF CHIPPEWAY STREET FROM THE SOUTH RIGHT-OF-WAY LINE OF MAPLE STREET TO THE NORTH RIGHT OF WAY LINE OF RIVER ROAD, PLATTED AS FITCH STREET.


PART OF ISABELLA STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 158, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF ISABELLA STREET FROM THE WEST LINE OF SAID PLAT TO THE EAST LINE OF LOT 7 OF BLOCK 3 AND THE EAST LINE OF LOT 12 OF BLOCK 8 OF SAID PLAT.

ALLEY WITHIN BLOCK 3 TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 158, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 1 ROD (16.50 FEET) ALLEY RIGHT OF WAY BOUND ON THE SOUTH BY ISABELLA STREET AND THE NORTH BY THE NORTH LINES OF LOTS 4 & 9 OF BLOCK 3 OF SAID PLAT.

REVISION 3-22-19: CORRECTION IN DESCRIPTION FOR THE VACATION OF ISABELLA STREET

R - RECORDED M - MEASURED □ - SET WOOD STAKE	○ - FOUND IRON ● - SET IRON ⊙ - CONCRETE MONUMENT	⊕ - SECTION CORNER ⊕ - 1/8 CORNER
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	SURVEY DATE: N/A	CHECKED BY: TELB
DATE: 10-24-18	JOB NUMBER: 1711-144	
REVISED: 2-25-19	SHEET NUMBER: 2 OF 2	

AMENDED

PETITION FOR ABANDONMENT

TO: The Board of County Road Commissioners of the County of Isabella, 2261 E. Remus Rd, Mt. Pleasant, MI 48858

We, the undersigned six or more, Freeholders of the Township of Union
(number of freeholders)
Isabella County, Michigan: ...

(Petitioners Signatures - must be seven or more)

Example: *Signature*

Printed Name
Street Address
City, State, Zip Code

1 *[Signature]*
Thomas R. Gross
P.O. Box 548
Mt. Pleasant, MI 48858

5 *[Signature]*
Robert J. Long
1645 Shagbark
1111 Prospect, MI, 48858

2 *[Signature]*
Gregory L. Starry
2741 Dawn Run
Mt. Pleasant, MI 48858

6 *[Signature]*
William Moronica
2141 Sable Ct.
Mt. Pleasant, MI 48858

3 *[Signature]*
Kent Vander Loon
President Mt. Pleasant Country Club
3086 E. River Road
Mt. Pleasant, MI 48858

7

4 *[Signature]*
Kent Vander Loon
Kent Vander Loon
1742 Leroy Lane
Mt. Pleasant, MI 48858

8

respectfully petition as follows:

BE IT HEREBY RESOLVED: That the Board of County Road Commissioners of the County of Isabella shall consider for absolute abandonment and discontinuance, the street or road generally referred to as

See attached map -- Village of Isabella City Plat

located in Union Township, Isabella County, and State of Michigan.



PETITION FOR ABANDONMENT

TO: The Board of County Road Commissioners of the County of Isabella, 2261 E. Remus Rd, Mt. Pleasant, MI 48858

We, the undersigned two or more, Freeholders of the Township of Union
(number of freeholders)
Isabella County, Michigan:

(Petitioners Signatures – must be seven or more)

Example: *Signature*

Printed Name
Street Address
City, State, Zip Code

1

JAMES C. STARK
2887 BACK TOWN ST.
MT. PLEASANT, MI 48858

5

[Empty signature box]

2

TIMOTHY E. BEBEE
2257 E. Broomfield Road
Mt. Pleasant MI 48858

6

[Empty signature box]

3

[Empty signature box]

7

[Empty signature box]

4

[Empty signature box]

8

[Empty signature box]

respectfully petition as follows:

BE IT HEREBY RESOLVED: That the Board of County Road Commissioners of the County of Isabella shall consider for absolute abandonment and discontinuance, the street or road generally referred to as

see attached map -- Village of Isabella City Plat

located in Union Township, Isabella County, and State of Michigan.

PETITION FOR ABANDONMENT

TO: The Board of County Road Commissioners of the County of Isabella, 2261 E. Remus Rd, Mt. Pleasant, MI 48858


We, the undersigned one or more, Freeholders of the Township of Union
(number of freeholders)

Isabella County, Michigan:

(Petitioners Signatures – must be seven or more)

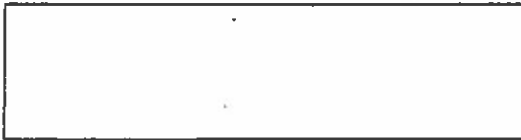
Example: *Signature*

Printed Name
Street Address
City, State, Zip Code

1 
JAMES R. STANK
FOUR HACKS, LLC
MANAGER, BOX 348, MT PLEASANT
MI 48804

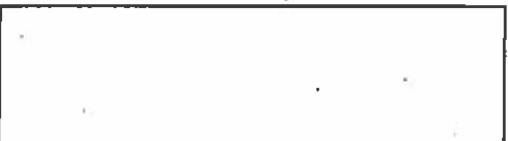
5 

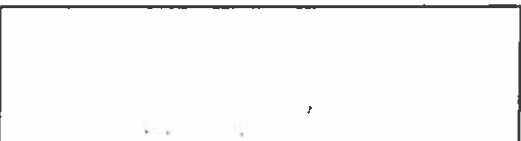
2 

6 

3 

7 

4 

8 

respectfully petition as follows:

BE IT HEREBY RESOLVED: That the Board of County Road Commissioners of the County of Isabella shall consider for absolute abandonment and discontinuance, the street or road generally referred to as

see attached map -- Village of Isabella City Plat

located in Union Township, Isabella County, and State of Michigan.

BE IT HEREBY FURTHER RESOLVED: That the following is a legal description of that portion of street or road to be considered for absolute abandonment and discontinuance.

Please see legal description attached to map

BE IT HEREBY FURTHER RESOLVED: That we request said portion of Village of Isabella City (general name) be considered for absolute abandonment and discontinuance for the following reasons:

Four Hacks, LLC, a Michigan limited liability company and owner of a portion of the Village of Isabella City Plat as shown on the attached map wishes to develop its portion of the Plat and needs the undeveloped roads and alleys in its portion abandoned and vacated in order to build in its area

BE IT HEREBY FURTHER RESOLVED: That the following is the name and address of all owners or occupants of the land abutting which said Village of Isabella City Plat (general street or road name) or the portion thereof that we desire to be discontinued, passes:

Name	Address	Frontage length of subdivision lot number (if applicable)
1. Mt. Pleasant Country Club	3686 E. River Rd., Mt. Pleasant	48858
2. Four Hacks, LLC, owner of the portion of plat at issue, which does not yet have a street address. The mailing address of Four Hacks, LLC is	P.O. Box 348, Mt. Pleasant, MI 48804	
3.		
4.		
5.		
6.		
7.		
8.		

UNION Township

Supervisor: [Signature]
 Clerk: [Signature]
 Treasurer: [Signature]
 Trustee: [Signature]
 Trustee: [Signature]
[Signature]

Dated: 3-13-2019

[Signature]
TIMOTHY E BEBEE

On this 28th day of February 2019 before me a Notary Public in and for the County of Isabella, State of Michigan, personally appeared,

Timothy E Bebee who being duly sworn, depose and say that he is a freeholder of the Township of Union, Isabella County.

Michigan and that to the best of his knowledge, this petition contains a true and correct list of the names and mailing addresses of each parcel of land abutting the street or road, or portion thereof, sought to be absolutely abandoned and discontinued.

[Signature]
 Notary Public, Isabella County, Michigan

My Commission Expires 6/3/19



2261 E. REMUS ROAD, MT. PLEASANT, MI 48858.

CERTIFICATE OF RESOLUTION

MOVED BY: Turnwald SUPPORTED BY: Busch

WHEREAS, this Board has received a petition in accordance with 1909 PA 283, as amended, being MCLA 224.18, for the absolute abandonment and discontinuance of a portion of Chippeway Street and Isabella Street platted streets and the alley within Block 3 within the Plat of the Village of the City of Isabella, Union Township, Isabella County, which is under the jurisdiction and control of this Board; and

WHEREAS, Chippeway Street and Isabella Street were originally dedicated to the public as streets and the alley within Block 3 was originally dedicated as a public alley within the Plat of the Village of the City of Isabella in Union Township; and

WHEREAS, the Board has received the above described petition signed by seven freeholders of Union Township and notice a public hearing was held on March 22, 2019, at which no objections to the abandonment were raised; and

WHEREAS, this Board has considered the necessity and advisability of absolutely abandoning and discontinuing portions of Chippeway Street, Isabella Street and the alley within Block 3 within the Plat of the Village of the City of Isabella pursuant to the petition, and a field inspection was conducted to view the premises described in the petition; and

WHEREAS, in determining the advisability of this abandonment in conformance with the statute, no opposition was registered with respect to the subject petition; and

NOW, THEREFORE, BE IT RESOLVED, that this Board hereby declares and determines that it is in the best interest of the public to absolutely abandon and discontinue the following described public streets and alley:

A PART OF SOUTHEAST 1/4 OF THE SOUTHEAST 1/4,
FRACTIONAL SECTION 3 T.14 N.- R.4 W.,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
AND PART OF THE VILLAGE OF ISABELLA CITY

PART OF CHIPPEWAY STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF CHIPPEWAY STREET FROM THE SOUTH RIGHT-OF-WAY LINE OF MAPLE STREET TO THE NORTH RIGHT OF WAY LINE OF RIVER ROAD, PLATTED AS FITCH STREET.



PART OF ISABELLA STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF ISABELLA STREET FROM THE WEST LINE OF SAID PLAT TO THE EAST LINE OF LOT 7 OF BLOCK 3 AND THE EAST LINE OF LOT 12 BLOCK 6 OF SAID PLAT.

ALLEY WITHIN BLOCK 3 TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 1 ROD (16.50 FEET) ALLEY RIGHT OF WAY BOUND ON THE SOUTH BY ISABELLA STREET AND THE NORTH BY THE NORTH LINES OF LOTS 4 & 9 OF BLOCK 3 OF SAID PLAT.

IT FURTHER RESOLVED that this Board grants the request for abandonment of the above-described public streets and alley are absolutely abandoned and discontinued, subject to any easements for public utility purposes.

BE IT FURTHER RESOLVED, the Isabella County Road Commission Clerk shall record a certified copy of this resolution in the office of the Isabella County Register of Deeds, and send certified copies to the proper highway authorities and to the Union Township Supervisor and Clerk.

Ayes: Commissioner's Graham, Turnwald, & Busch. Nays: None. Motion carried.

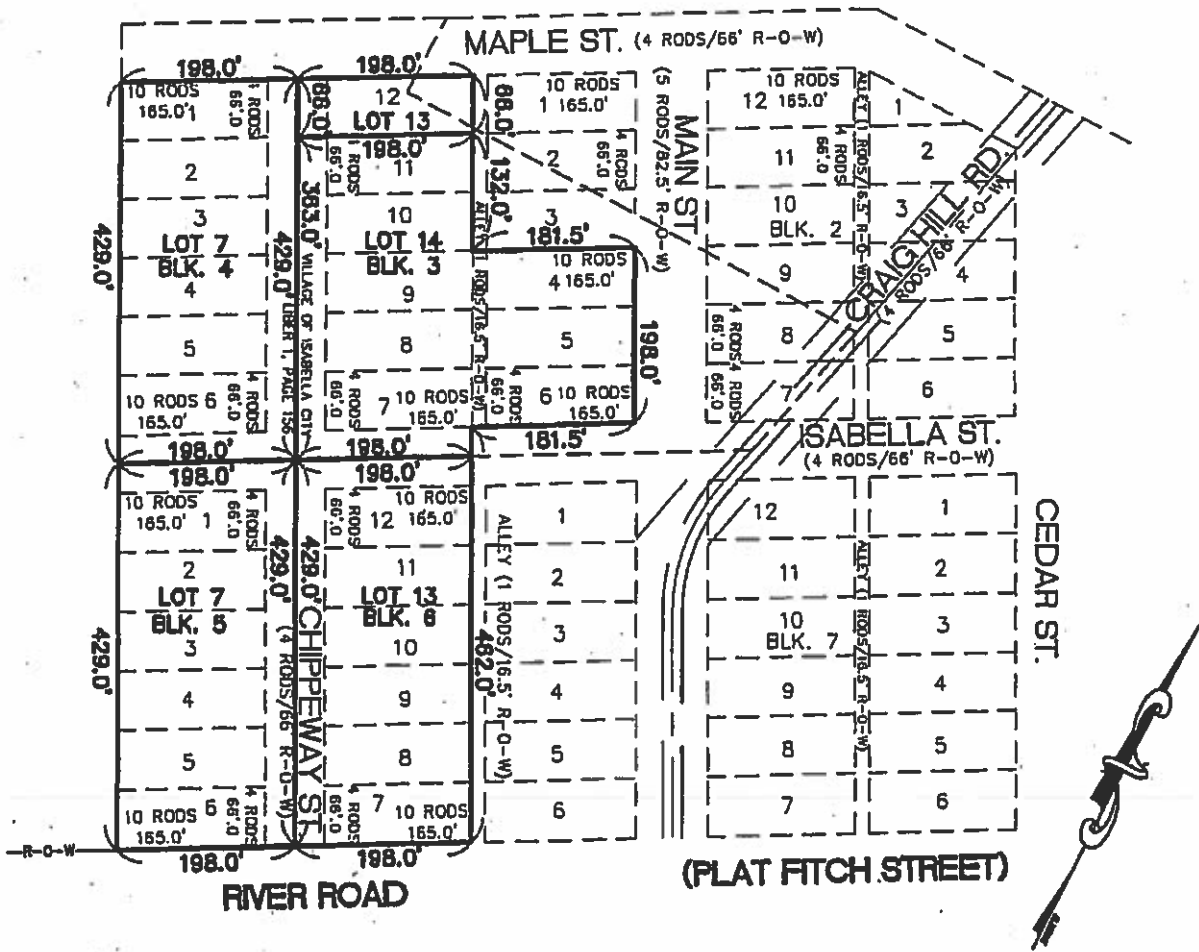
I, Jalene A. Sandel hereby certify the foregoing is a true and accurate copy of the resolution made and adopted at the Regular Board Meeting of the Isabella County Board of Road Commissioners

Held on: March 28, 2019

Signed: Jalene A. Sandel
Secretary to the Board

Dated: march 28, 2019

PROPOSED LAYOUT FOR AMENDED PLAT OF A PART OF BLOCK 3,
 BLOCK 4, BLOCK 5 AND A PART OF BLOCK 6 OF THE MAP OF
 ISABELLA CITY BEING A PART OF SOUTHEAST 1/4 OF THE
 SOUTHEAST 1/4, FRACTIONAL SECTION 3 T.14 N.- R.4 W.,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN



- R - RECORDED
- M - MEASURED
- - SET WOOD STAKE
- - FOUND IRON
- - SET IRON
- ◎ - CONCRETE MONUMENT

- ⊕ - SECTION CORNER
- ⊙ - 1/8 CORNER



CMS & D
 SURVEYING / ENGINEERING
 510 W, PICKARD STREET, SUITE C
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0758
 FAX: (989) 775-5012
 EMAIL: info@cms-d.com

SCALE: 1" = 200'	DRAWN BY: WRE
SURVEY DATE: N/A	CHECKED BY: TELB
DATE: 10-24-18	JOB NUMBER: 1711-144
REVISED: 3-18-19	SHEET NUMBER: 1 OF 1





Peter Gallinat, Township Planner
pgallinat@uniontownshipmi.com
2010 South Lincoln
Mt. Pleasant, MI 48858
Phone 989-772-4600 Ext. 241
Fax 989-773-1988

TO: Planning Commission
FROM: Township Planner

New Business

SUBJECT: (B) SUP 2019-04 Public and Institutional use. Isabella Conservation District as authorized by owner Steve Gramza.

Applicant: Isabella Conservation District (Authorized by owner)

Owner: Steve Gramza

Location: PID 14-002-10-002-06 1982 S. Mission Rd. MT PLEASANT, MI 48858

Current Zoning: AG (Agricultural District)

Adjacent Zoning: AG

Future Land Use/Intent: Rural Buffer: Rural Buffer areas generally do not have sewer and water, but are appropriate for agricultural, low density residential, and other uses allowed by zoning. Typically this buffer is located on the fringe between rural and more urbanized areas. Rezoning requests for more intensive uses should be limited, especially those requiring extended utility service.

Current Use: Vacant Property

Reason for Request: Special Use for a Public and Institutional use for a government building. Construct a 60' x 100'

History: Applicant is seeking approval for the special use. Applicant has provided a conceptual site plan for review but not approval. If the use is approved by the Board of Trustees the applicant will submit a final site plan for final approval.

Objective of board: Within a reasonable time following the public hearing, the Planning Commission shall review the application for the special use permit, testimony received at the public hearing, and other materials submitted in relation to the request and make a recommendation to the Township Board. Approving or denying the special use application shall be in accord with the criteria for approval stated in Section 30.3 and such other standards contained in this Ordinance that relate to the special uses under consideration.

Recommendation from Township Planner

I would recommend approval of the special use on the condition that a site plan is reviewed and approved by the Planning Commission in accordance with section 12.

Peter Gallinat
Township Planner

APPLICATION FOR A SPECIAL USE PERMIT

I (we) The Conservation District OWNERS OF PROPERTY AT
LEGAL DESCRIPTION AS FOLLOWS:

Please attached legal description

Respectfully request that a determination be made by the Township Board on the following request:

- I. Special Use For Establish a permanent 60'x100 Electronic Waste Facility
- II. Junk Yard Permit



Note: Use one of the sections below as appropriate. If space provided is inadequate, use a separate sheet.

I. Special Use Permit is requested for Please attachment

Give reason why you feel permit should be granted: Please see attachment

II. Junk Yard Permit requirements are:

Location of property to be used _____

Zoning of the area involved is _____

Zoning of the abutting areas _____



Fees \$ 350.00 Signature of Applicant Terry Turnwald, Dist Chair

Date 5-28-19

Prev Year Info

Prev Year Info	MBOR Assessed	Final SEV	Final Taxable
2017	\$12,700	\$12,700	\$12,700
2016	\$12,700	\$12,700	\$12,700

Land Information

Acreage:	4.37
Zoning:	
Town/Range/Sec	14N 04W 002

Legal Information

T14N R4W SEC 2 COM AT NW COR OF SEC 2 TH S 00D 12M 07S E 951.00 FT TO POB TH S 89D 53M 46S E 721.12 FT TH S 00D 03M 03S W 268.39 FT TH N 89D 12M 21S W 720.04 FT TH N 00D 12M 07S W 259.72 FT TO POB 4.37 A M/L . SPLIT FOR 2009 FROM 10-002-02 TO 10-002-04 & 10-002-05 & 10-002-06

Sales Information

Sale Date: 05-07-2009
Sale Price: 17043
Instrument: WD
Grantor: GILPIN EVALINE PERCILLA ESTATE
Grantee: GRAMZA STEVE
Terms of Sale: 10-EXTREME RATIO
Liber/Page: 01478/00799

Tax History *Total Due as of settlement date

Tax Details 2018 Winter

School Dist. Code:	37010	Assessed Value:	\$12,700
School Dist. Name:	MT PLEASANT/GRAT-ISAB	Taxable Value:	\$12,700
Property Class:	402	State Equalized Value:	\$12,700
Class Name:	RESIDENTIAL-VACANT	Exemption Percent:	0%
Last Payment Date:	February 13, 2019		
Base Tax:	\$450.78	Base Paid:	\$450.78
Admin Fees:	\$4.50	Admin Fees Paid:	\$4.50
Interest Fees:	\$0.00	Interest Fees Paid:	\$0



Isabella County GIS Land Use

Parcel Report: 14-002-10-002-06

3/5/2019

1:13:52 PM



Property Address

S MISSION RD
MOUNT PLEASANT, MI, 48858

Owner Address

GRAMZA STEVE
--
8770 E MAPLE ST
CLARE, MI 48617

Unit: 14
Unit Name: UNION

General Information for 2018 Tax Year

Parcel Number:	14-002-10-002-06	Assessed Value:	\$12,700
Prop. Class Code:	409	Taxable Value:	\$12,700
Prop. Class Name:	RESIDENTIAL-VACANT	State Equalized Value:	\$12,700
School Dist Code:	37010	Exemption Percent:	0
School Dist Name:	MT PLEASANT/GRAT-ISAB		



5979 East Broadway Road
Mt. Pleasant, MI 48858
Phone: 989-772-9152 ext. 3
Fax: 989-773-0480

Isabella Conservation District

May 29, 2019

Special Use Permit is requested for

The Isabella Conservation District to establish a permanent 60'x100' Electronic Waste Facility.

This facility will be used to collect electronic waste for the residents of Isabella at no cost to them.

- The facility will be open 2 days per week
- District staff will collect, sort, and store material
- A licensed waste recycler will pick up the material – days stored will depend on lbs. collected

We will collect the following electronic waste:

- | | |
|-------------------|-------------------------|
| Desktop computers | Desktop fax machines |
| Laptop computers | Computer keyboards/mice |
| Tablets | Gaming consoles |
| Computer monitors | DVD players |
| Televisions | VCRS |
| Desktop printers | Desktop scanners |

The facility will have a 36'x36' office space attached. This will allow district staff to work at the facility all year.

The district is working with Steve Noble, Program Coordinator for the Environment Great Lakes and Energy, Electronics Recycling Program, Sustainable Materials Management Division. He has secured a commitment to financially support electronic waste recycling for the residents of Isabella County through a registered electronic manufacturer.

.....

Other Building Uses

Household Hazardous Waste/Clean Sweep Collections

We hold two collections per year – spring and fall

We will accept the following:

Automotive liquids/products	Pesticides
Aerosols	Fungicides
Household cleaners	Herbicides
Acids	Insecticides
Oil based paints/stains	Rodenticides
Photography chemicals	Mercury
Pool/hot tub chemicals	Fertilizers
Fluorescent bulbs (CFLS)	Thermometers
Batteries – all types	Thermostats – (round non-programable)
Bug sprays	Unidentified liquids & granular/powder
Pharmaceuticals	

- The waste will never be stored. It will be removed from the site the day of the collection.

Tire Recycling Collections

We hold two collections per year – spring and fall.

- Events are always held on a Saturday from 8:00 a.m. to 12:00 p.m.
- Licensed professional companies are hired for collections
- All material is removed from the site the day of collection, it is never stored
- Collections will be held in the back of the building on a 60'x60' concrete slab to prevent soil or water contamination
- These services are free to Isabella County Residents

Spring Tree and Shrub Sale

- Order are taken January through first week of April at our office on Broadway
- The facility will be used the last two weeks of April sorting and organizing tree orders
- Volunteers help during this time
- One day Tree pick-up is always on a Friday from 7:30 a.m.to 6:00 p.m.

District Equipment

During the winter months we will store the district's tree planter and conservation no-till grain drills. In the spring the equipment will be moved to our office in the USDA Building located at 5979 E. Broadway Rd., Mt. Pleasant.

We plan to plant a tree/shrub identification windbreak around the property and develop a native plant pollinator garden.

Give reason why you feel permit should be granted:

Currently Electronic Waste Collections only benefit a few of our approximately 72,000 county residents. This service will be free to all county landowners, the waste will be recycled properly by licensed recyclers.

Many waste haulers will take electronic waste for a fee. It is not recycled, it is taken to a landfills. The toxic waste in the electronics leaches out and contaminates our soil, ground and surface water.

This permanent electronic waste facility will enhance the current recycling programs hosted by the Isabella Conservation District by expanding collections to include electronic waste recycling.

We are very fortunate to have the Environment, Great Lakes, and Energy support of Steve Noble. Steve has secured the long-term funding for this program that makes it a free program to our landowners.

RESIDENTIAL PURCHASE AGREEMENT

I. The Parties. This Real Estate Purchase Agreement (“Agreement”) made on April 18th 2019 (“Effective Date”) between:

A business entity known as Isabella Conservation District (“Buyer”) with a mailing address of 5979 E Broadway, Mt. Pleasant, Michigan, 48858.

AND

One (1) individual(s) known as Steve GRAMZA (“Seller”) with a mailing address of 8770 E MAPLE ST, Clare, Michigan, 48617.

Tax Parcel Information (i.e., “Parcel ID” or “Tax Map & Lot”): T14N R4W SEC 2 COM AT NW COR OF SEC 2 TH S 00D 12M 07S E 951.00 FT TO POB TH S 89D 53M 46S E 721.12 FT TH S 00D 03M 03S W 268.39 FT TH N 89D 12M 21S W 720.04 FT TH N 00D 12M 07S W 259.72 FT TO POB 4.37 A M/L . SPLIT FOR 2009 FROM 10-002-02 TO 10-002-04 & 10-002-05 & 10-002-06

Other Description:

III. Personal Property. There shall be no personal property included in this Agreement or included in the purchase of the real property. All removable items from the real property, i.e. "non-fixtures", shall be retained by the Seller at closing.

The real property and personal property shall be collectively known as the “Property”.

IV. Fixtures. The Parties agree that all fixtures located on or in the Property, including but not limited to storm windows, screens, shades, blinds, heating systems, HVAC components, stoves, air conditioners, pumps, electrical fixtures, and any other equipment, appliance, or furniture that is fixed in position shall be included in the sale of the Property.

V. Earnest Money. After acceptance by all Parties, the Buyer agrees to make a payment in the amount of \$1,500.00 as consideration by, April 18th 2019 12:00 PM (“Earnest Money”). The Earnest Money shall be applied to the Purchase Price at Closing and subject to the Buyer’s ability to perform under the terms of this Agreement. Any Earnest Money accepted Shall not be placed in a separate trust or escrow account unless otherwise required under State law..

VI. Purchase Price and Terms. The Buyer agrees to purchase the Property by payment of \$32,000.00 (Thirty Two Thousand and no 100 Dollars) as follows:

All Cash Offer. No loan or financing of any kind is required in order to purchase the Property. Buyer shall provide Seller written third (3rd) party documentation verifying sufficient funds to close no later than August 1st 2019 at 05:00 PM. Seller shall have three (3) business days after the receipt of such documentation to notify Buyer, in writing, if the verification of funds is not acceptable. If Buyer fails to provide such documentation, or if Seller finds such verification of funds is not acceptable, Seller may

terminate this Agreement. Failure of Seller to provide Buyer written notice of objection to such verification shall be considered acceptance to verification of funds.

VII. Sale of Another Property. Buyer's performance under this Agreement shall not be contingent upon selling another property.

VIII. Closing Costs. The costs attributed to the Closing of the Property shall be the responsibility of both Parties shared equally. The fees and costs related to the Closing shall include but not be limited to a title search (including the abstract and any owner's title policy), preparation of the deed, transfer taxes, recording fees, and any other costs by the title company that is in standard procedure with conducting the sale of a property.

IX. Funds at Closing. Buyer and Seller agree before the recording can take place, funds provided shall be in one (1) of the following forms: cash, interbank electronic transfer, money order, certified check or cashier's check drawn on a financial institution located in the State, or any above combination that permits the Seller to convert the deposit to cash no later than the next business day.

X. Closing Date. This transaction shall be closed on August 1st 2019 12:00 PM or earlier at the office of a title company to be agreed upon by the Parties. Any extension of this date and time must be agreed upon, in writing, by Buyer and Seller. Real estate taxes, rents, dues, fees, and expenses relating to the Property for the year in which the sale is closed shall be prorated as of the date of Closing. Taxes due for prior years shall be paid by Seller.

XI. Survey. Buyer may obtain a survey of the Property before the Closing to assure that there are no defects, encroachments, overlaps, boundary line or acreage disputes, or other such matters, that would be disclosed by a survey ("Survey Problems"). The cost of the survey shall be paid by the Buyer. Not later than August 1st 2019, Buyer shall notify Seller of any Survey Problems which shall be deemed to be a defect in the title to the Property. Seller shall be required to remedy such defects within 20 business days and prior to the Closing.

If Seller does not or cannot remedy any such defect(s), Buyer shall have the option of canceling this Agreement, in which case the Earnest Money shall be returned to Buyer.

~~XII. Mineral Rights. It is agreed and understood that all rights under the soil, including but not limited to water, gas, oil, and mineral rights shall be transferred by the Seller to the Buyer at Closing.~~

XIII. Title. Seller shall convey title to the property by Quit Claim Deed or equivalent. The Property may be subject to restrictions contained on the plat, deed, covenants, conditions, and restrictions, or other documents noted in a Title Search Report. Upon execution of this Agreement by the Parties, Seller will, at the shared expense of both Buyer and Seller, order a Title Search Report and have delivered to the Buyer.

Upon receipt of the Title Search Report, the Buyer shall have 5 business days to notify the Seller, in writing, of any matters disclosed in the report which is unacceptable to Buyer. Buyer's failure to timely object to the report shall constitute acceptance of the Title Search Report.

If any objections are made by Buyer regarding the Title Search Report, mortgage loan inspection, or other information that discloses a material defect, the Seller shall have 20 business days from the date the objections were received to correct said matters. If Seller does not remedy any defect discovered by the Title Search Report, Buyer shall have the option of canceling this Agreement, in which case the Earnest Money shall be returned to Buyer.

After Closing, Buyer shall receive an owner's standard form policy of title insurance insuring marketable title in the Property to Buyer in the amount of the Purchase Price, free and clear of the objections and all other title exceptions agreed to be removed as part of this transaction.

XIV. Property Condition. Seller agrees to maintain the Property in its current condition, subject to ordinary wear and tear, from the time this Agreement comes into effect until the Closing. Buyer recognizes that the Seller, along with any licensed real estate agent(s) involved in this transaction, make no claims as to the validity of any property disclosure information. Buyer is required to perform their own inspections, tests, and investigations to verify any information provided by the Seller. Afterward, the Buyer shall submit copies of all tests and reports to the Seller at no cost.

Therefore, Buyer shall hold the right to hire licensed contractors, or other qualified professionals, to further inspect and investigate the Property until August 1st 2019.

After all inspections are completed, Buyer shall have until August 1st 2019 to present any new property disclosures to the Seller in writing. The Buyer and Seller shall have 5 business days to reach an agreement over any new property disclosures found by the Buyer. If the Parties cannot come to an agreement, this Agreement shall be terminated with the Earnest Money being returned to the Buyer.

If the Buyer fails to have the Property inspected or does not provide the Seller with written notice of the new disclosures on the Property, in accordance with this Agreement, Buyer hereby accepts the Property in its current condition and as described in any disclosure forms presented by the Seller.

In the event improvements on the Property are destroyed, compromised, or materially damaged prior to Closing, then, the Agreement may be terminated at Buyer's option.

XV. Seller's Indemnification. Except as otherwise stated in this Agreement, after recording, the Buyer shall accept the Property AS IS, WHERE IS, with all defects, latent or otherwise. Neither Seller nor their licensed real estate agent(s) or any other agent(s) of the Seller, shall be bound to any representation or warranty of any kind relating in any way to the Property or its condition, quality or quantity, except as specifically set forth in this Agreement or any property disclosure, which contains representations of the Seller only, and which is based upon the best of the Seller's personal knowledge.

XVI. Appraisal. Buyer's performance under this Agreement shall not be contingent upon the appraisal of the Property being equal to or greater than the agreed upon Purchase Price.

XVII. Required Documents. Prior to the Closing, the Parties agree to authorize all necessary documents, in good faith, in order to record the transaction under the conditions required by the recorder, title company, lender, or any other public or private entity.

XVIII. Termination. In the event this Agreement is terminated, as provided in this Agreement, absent of default, any Earnest Money shall be returned to the Buyer, in-full, within five (5) business days with all parties being relieved of their obligations as set forth herein. This purchase agreement is contingent upon the Isabella Conservation District obtaining a Special Use Permit and Siting Plan approved by the Charter Township of Union. In the event Union Township does not approve the Special Use Permit, and/or Siting Plan and/or any other unforeseen zoning issue the Isabella Conservation District will not be able to purchase this property. The down payment will be refunded to the Isabella Conservation District.

XIX. Sex Offenders. Section 2250 of Title 18, United States Code, makes it a federal offense for sex offenders required to register pursuant to the Sex Offender Registration and Notification Act (SORNA), to knowingly fail to register or update a registration as required. State convicted sex offenders may also be prosecuted under this statute if the sex offender knowingly fails to register or update a registration as required, and engages in interstate travel, foreign travel, or enters, leaves, or resides on an Indian reservation. A sex offender who fails to properly register may face fines and up to ten (10) years in prison. Furthermore, if a sex offender knowingly fails to update or register as required and commits a violent federal crime, he or she may face up to thirty (30) years in prison under this statute. The Buyer may seek more information online by visiting <https://www.nsopw.gov/>.

XX. Time. Time is of the essence. All understandings between the Parties are incorporated in this Agreement. Its terms are intended by the Parties as a final, complete and exclusive expression of their Agreement with respect to its subject matter and they may not be contradicted by evidence of any prior agreement or contemporaneous oral agreement.

XXI. Buyer's Default. Seller's remedies shall be limited to liquidated damages in the amount of the Earnest Money set forth in Section V. It is agreed that such payments and things of value are liquidated damages and are Seller's sole and only remedy for Buyer's failure to perform the obligations of this Agreement. The Parties agree that Seller's actual damages in the event of Buyer's default would be difficult to measure, and the amount of the liquidated damages herein provided for is a reasonable estimate of such damages.

XXII. Seller's Default. Buyer may elect to treat this Agreement as cancelled, in which case all Earnest Money paid by Buyer hereunder shall be returned and Buyer may recover such damages as may be proper, or Buyer may elect to treat this Agreement as being in full force and effect and Buyer shall have the right to specific performance or damages or both.

XXIII. Earnest Money Dispute. Notwithstanding any termination of this Agreement, the Parties agree that in the event of any controversy regarding the release of the Earnest Money that the matter shall be submitted to mediation as provided in Section XXIV.

XXIV. Dispute Resolution. Buyer and Seller agree to mediate any dispute or claim arising out of this Agreement, or in any resulting transaction, before resorting to arbitration or court action.

a.) Mediation. If a dispute arises, between or among the Parties, and it is not resolved prior to or after recording, the Parties shall first proceed in good faith to submit the matter to mediation. Costs related to mediation shall be mutually shared between or among the Parties. Unless otherwise agreed in mediation, the Parties retain their rights to proceed to arbitration or litigation.

b.) Arbitration. The Parties agree that any dispute or claim in law or equity arising between them out of this Agreement or any resulting transaction, which is not settled through mediation, shall be decided by neutral, binding arbitration. The arbitrator is required to be a retired judge or justice, or an attorney with at least five (5) years of residential real estate law experience unless the Parties mutually agree to a different arbitrator. Under arbitration, the Parties shall have the right to discovery in accordance with State law. Judgment upon the award of the arbitrator(s) may be entered into any court having jurisdiction. Enforcement of this Agreement to arbitrate shall be governed by the Federal Arbitration Act.

c.) Exclusions. The following matters shall be excluded from the mediation and arbitration: (i) a judicial or non-judicial foreclosure or other action or proceeding to enforce a deed, mortgage or installment land sale contract as defined in accordance with State law; (ii) an unlawful detainer action, forcible entry detainer, eviction action, or equivalent; (iii) the filing or enforcement of a mechanic's lien; and (iv) any matter that is within the jurisdiction of a probate, small claims or bankruptcy court. The filing of a court action to enable the recording of a notice of pending action, for order of attachment, receivership, injunction, or other provisional remedies, shall not constitute a waiver or violation of the mediation and arbitration provisions of this Section.

XXV. Governing Law. This Agreement shall be interpreted in accordance with the laws in the State of Michigan.

XXVI. Terms and Conditions of Offer. This is an offer to purchase the Property in accordance with the above-stated terms and conditions of this Agreement. If at least one, but not all, of the Parties initial such pages, a counteroffer is required until an agreement is reached. Seller has the right to continue to offer the Property for sale and to accept any other offer at any time prior to notification of acceptance. If this offer is accepted and Buyer subsequently defaults, Buyer may be responsible for payment of licensed real

estate agent(s) compensation. This Agreement and any supplement, addendum or modification, including any copy, may be signed in two or more counterparts, all of which shall constitute one and same writing.

XXVII. Binding Effect. This Agreement shall be for the benefit of, and be binding upon, the Parties, their heirs, successors, legal representatives and assigns, which therefore constitutes the entire agreement between the Parties. No modification of this Agreement shall be binding unless signed by both Buyer and Seller.

XXVIII. Business Days. Business days shall be defined as all days of the year excluding Saturdays, Sundays, and any federal or State holidays.

XXIX. Severability. In the event any provision or part of this Agreement is found to be invalid or unenforceable, only that particular provision or part so found, and not the entire Agreement, will be inoperative.

XXX. Confidentiality. Buyer and Seller agree to mutually hold all details of this Agreement confidential with the exception of licensed real estate agents, attorneys, lenders, lending officers, inspection agents, appraisers, government officials, title officers, and any other individuals deemed necessary in order to perform the transaction at Closing. The Parties authorize the lender or any closing agent to prepare a closing disclosure or settlement statement for release to the Parties and their licenses prior to, at, and after the Closing.

XXXI. Offer Expiration. This offer to purchase the Property as outlined in this Agreement shall be deemed revoked and the Earnest Money shall be returned unless this Agreement is signed by Seller and a copy of this Agreement is personally given to the Buyer by April 18th 2019 12:00 PM.

XXXII. Acceptance. Seller warrants that Seller is the owner of the Property or has the authority to execute this Agreement. Therefore, by the Seller's authorization below, he/she/they accepts the above offer and agrees to sell the Property on the above terms and conditions and agrees to the agency relationships in accordance with any agreement(s) made with a licensed real estate agent(s). Seller has read and acknowledges receipt of a copy of this Agreement and authorizes any licensed real estate agent(s) to deliver a signed copy to the Buyer.

Delivery may be in any of the following: (i) hand delivery; (ii) email under the condition that the party transmitting the email receives electronic confirmation that the email was received to the intended recipient; and (iii) by facsimile to the other party or the other party's licensee, but only if the transmitting fax machine prints a confirmation that the transmission was successful.

XXXIII. Possession After Closing. Buyer shall obtain possession and occupancy of the Property at Closing. Furthermore, the Property shall be free of all tenants and occupants as well as debris, and all personal property not listed in this Agreement. Seller is to transfer possession of the Property in the same condition as the Effective Date excepting reasonable wear and tear.

XXXIV. Walk-Through. Buyer shall have the right to perform a walk-through of the Property within twenty-four (24) hours of the Closing.

XXXV. Licensed Real Estate Agent(s). If Buyer or Seller have hired the services of a licensed real estate agent(s) to perform representation on their behalf, he/she/they shall be entitled to payment for their services as outlined in their separate written agreement.

XXXVI. Disclosures. It is acknowledged by the Parties that the Property was not constructed prior to 1978. Therefore, the Lead-Based Paint Disclosure Form is not required per federal law.

Per § 565.957 of the Michigan Compiled Laws, the Seller is required to complete and attach the Seller's Disclosure Statement. Buyer acknowledges receipt of said disclosure with their signature herein.

XXXVII. Entire Agreement. This Agreement together with any attached addendums or disclosures shall supersede any and all other prior understandings and agreements, either oral or in writing, between the parties with respect to the subject matter hereof and shall constitute the sole and only agreements between the parties with respect to the said Property. All prior negotiations and agreements between the parties with respect to the Property hereof are merged into this Agreement. Each party to this Agreement acknowledges that no representations, inducements, promises, or agreements, orally or otherwise, have been made by any party or by anyone acting on behalf of any party, which are not embodied in this Agreement and that any agreement, statement or promise that is not contained in this Agreement shall not be valid or binding or of any force or effect.

SIGNATURE AREA Terry Turnwald 5-1-19

Buyer's Signature Crystal Beutler Date 4-18-19

Terry Turnwald acting as President on behalf of Isabella Conservation District. Terry Turnwald declares with their above-signature that they hold the legal power and authority to act in the presence of Isabella Conservation District.

Seller's Signature Steve Gramza Date 4/18/19
Steve GRAMZA

Constance Moeggenborg 4-18-19
CONSTANCE MOEGGENBORG
NOTARY PUBLIC, STATE OF MICHIGAN
COUNTY OF ISABELLA
MY COMMISSION EXPIRES 04-11-2021
ACTING IN THE COUNTY OF _____

Constance Moeggenborg 5-1-19
CONSTANCE MOEGGENBORG
NOTARY PUBLIC, STATE OF MICHIGAN
COUNTY OF ISABELLA
MY COMMISSION EXPIRES 04-11-2021
ACTING IN THE COUNTY OF _____

Buyer's Signature

UNION TOWNSHIP PUBLIC HEARING NOTICE -SPECIAL USE PERMIT

NOTICE is hereby given that a Public Hearing will be held on Tuesday, June 18, 2019, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for a Special Use Permit, as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by **The Isabella Conservation District (Authorized by owner Steve Gramza)**, a Special Use Permit in an AG (Agricultural District) for a Public and Institutional Use.

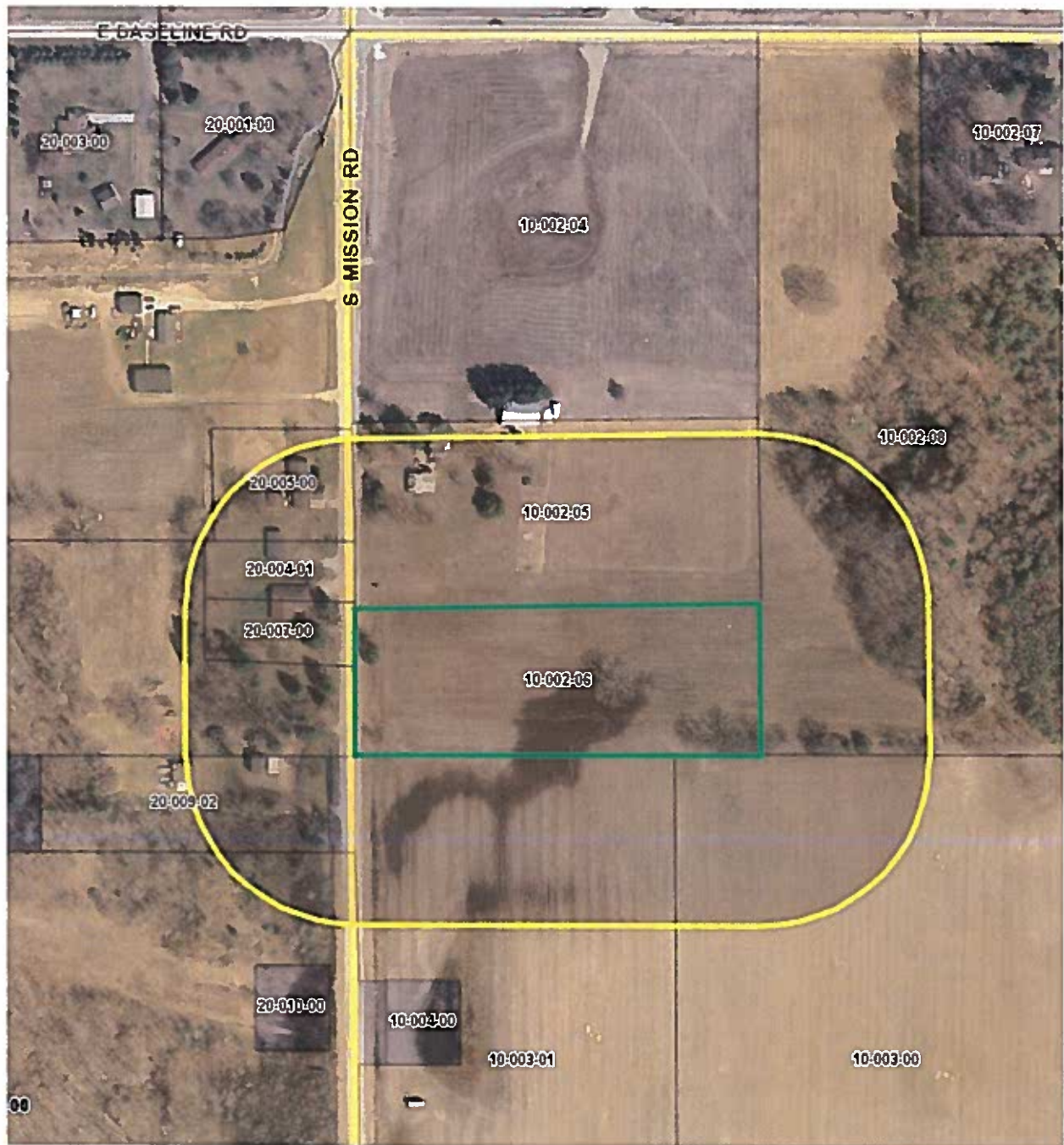
Legal Description of property: T14N R4W SEC 2 COM AT NW COR OF SEC 2 TH S 00D 12M 07S E 951.00 FT TO POB TH S 89D 53M 46S E 721.12 FT TH S 00D 03M 03S W 268.39 FT TH N 89D 12M 21S W 720.04 FT TH N 00D 12M 07S W 259.72 FT TO POB 4.37 A M/L . SPLIT FOR 2009 FROM 10-002-02 TO 10-002-04 & 10-002-05 & 10-002-06

This property is located at: S. Mission Rd. MT PLEASANT, MI 48858
PID 14-002-10-002-06

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,
Township Planner



The parcel outlined in GREEN is the subject parcel. The YELLOW border represents owners within 300ft of the subject property sent a notice of the public hearing. The Isabella Conservation District is seeking a Special Use on the subject property known as a Public and Institutional Use.

DUBOIS FRED & CAROLYN
159 S MISSION RD
MT PLEASANT, MI 48858

GRAMZA STEVE
8770 E MAPLE ST
CLARE, MI 48617

GILPIN DAVID
4381 S WISE RD
SHEPHERD, MI 48883

GILPIN FRANCES TRUST
1173 RUSSELL LEA DR
CHARLOTTE, MI 48813

WALTON MICHAEL J TRUST &
4085 E VALLEY RD
MT PLEASANT, MI 48858

GOFFNETT GREGORY S & MARIE A
92 S MISSION RD
MOUNT PLEASANT, MI 48858

TYSON THEISEN SUSAN E
184 S MISSION RD
MT PLEASANT, MI 48858

STEWART RAYMOND & SHANNON
160 S MISSION RD
MOUNT PLEASANT, MI 48858

FULLER DONALD R JR & EMMA
292 S MISSION RD
MT PLEASANT, MI 48858

BEADLE JONATHAN LEE & GAYLE M
208 S MISSION
MOUNT PLEASANT, MI 48858

FULLER EMMA & DONALD JR
292 S MISSION RD
MOUNT PLEASANT, MI 48858

MEMORIAL GARDENS
740 N MISSION
MT PLEASANT, MI 48858

AFFIDAVIT OF PUBLICATION

2125 Butterfield Dr, Suite 102N • Troy MI 48084

CHARTER TOWNSHIP OF UNION
2010 S Lincoln

Mount Pleasant, MI 48858
Attention: KIM SMITH

STATE OF MICHIGAN,
COUNTY OF ISABELLA

The undersigned Cindy Slater (Cindy Slater), being duly sworn the he/she is the principal clerk of Morning Sun, morningstarpublishing.com, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

CHARTER TOWNSHIP OF UNION

Published in the following edition(s):

Morning Sun	06/04/19
morningstarpublishing.com	06/04/19



Sworn to the subscribed before me this 4th June 2019.

Tina M. Crown

Notary Public, State of Michigan
Acting in Oakland County

Advertisement Information

Client Id: 531226 Ad Id: 1816500 PO: Sales Person: 200317

UNION TOWNSHIP PUBLIC HEARING NOTICE -SPECIAL USE PERMIT

NOTICE is hereby given that a Public Hearing will be held on Tuesday, June 18, 2019, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for a Special Use Permit, as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by The **Isabella Conservation District (Authorized by owner Steve Gramza)**, a Special Use Permit in an AG (Agricultural District) for a Public and Institutional Use.

Legal Description of property: T14N R4W SEC 2 COM AT NW COR OF SEC 2 TH S 00D 12M 07S E 951.00 FT TO POB TH S 89D 53M 46S E 721.12 FT TH S 00D 03M 03S W 268.39 FT TH N 89D 12M 21S W 720.04 FT TH N 00D 12M 07S W 259.72 FT TO POB 4.37 A M/L . SPLIT FOR 2009 FROM 10-002-02 TO 10-002-04 & 10-002-05 & 10-002-06

This property is located at: S. Mission Rd. MT PLEASANT, MI 48858

PID 14-002-10-002-06

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,
Township Planner

Published Morning Sun, 6/4/19

(1-1) NW CORNER, SECTION 2, T14N, R4W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

14-002-10-002-05
FRED & CAROLYN DUBOIS
ZONED AG

DESCRIPTION

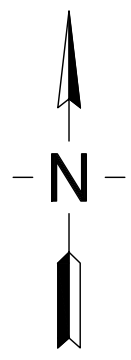
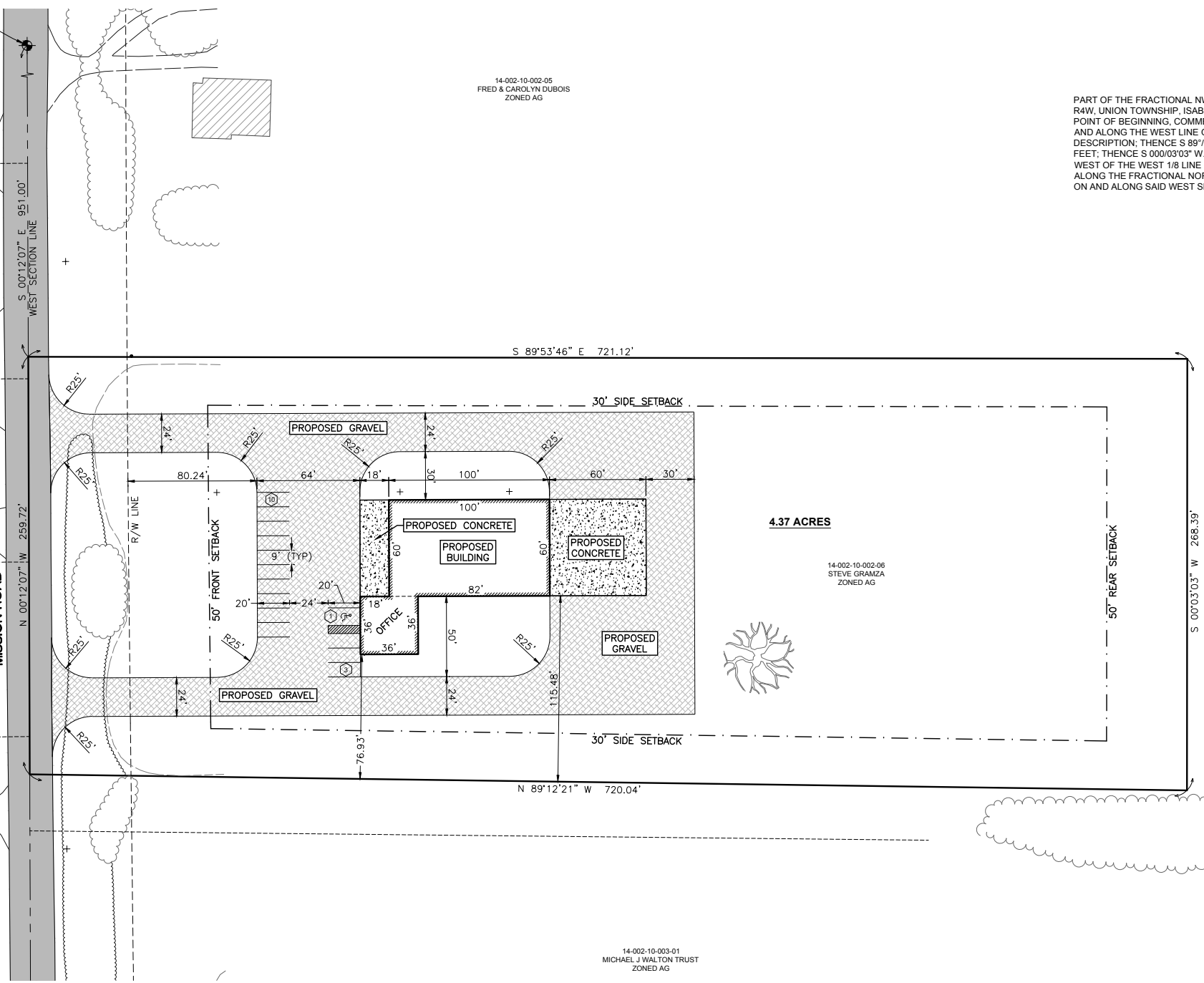
PART OF THE FRACTIONAL NW 1/4 OF THE FRACTIONAL NW 1/4 OF FRACTIONAL SECTION 2, T14N, R4W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NW CORNER OF SAID SECTION; THENCE S 00°12'07" E, ON AND ALONG THE WEST LINE OF SAID SECTION, 951.00 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S 89°53'46" E, PARALLEL WITH THE NORTH LINE OF SAID SECTION, 721.12 FEET; THENCE S 00°03'03" W, PARALLEL WITH AND 600.00 FEET, MEASURED AT RIGHT ANGLES, WEST OF THE WEST 1/8 LINE OF SAID SECTION, 268.39 FEET; THENCE N 89°12'21" W, ON AND ALONG THE FRACTIONAL NORTH 1/8 LINE OF SAID SECTION, 720.04 FEET; THENCE N 00°12'07" W, ON AND ALONG SAID WEST SECTION LINE, 259.72 FEET BACK TO THE POINT OF BEGINNING.

14-003-20-004-01
SUSAN E
TYSON-THEISEN
ZONED AG

14-003-20-007-00
JOHNATHAN LEE &
GAYLE M BEADLE
ZONED AG

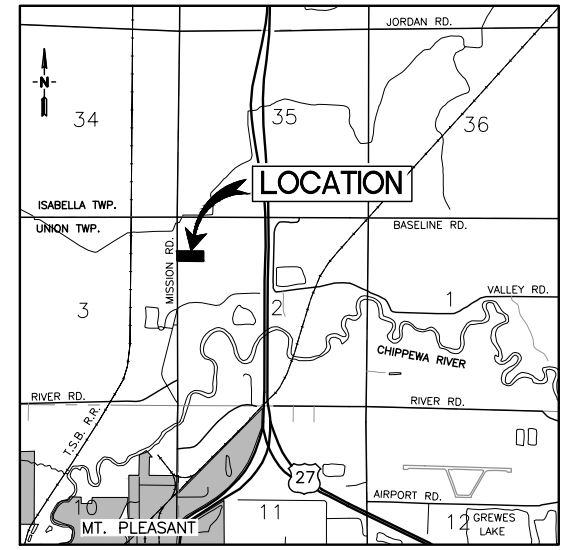
14-003-20-006-00
DONALD R JR &
EMMA FULLER
ZONED AG

14-003-20-009-02
DONALD JR &
EMMA FULLER
ZONED AG



APPLICANT
ISABELLA CONSERVATION DISTRICT
CONTACT: CRYSTAL BEUTLER
5979 E. BROADWAY ROAD
MT. PLEASANT, MI 48859
PHONE: (989) 779-5927 EXT. 2

LOCATION MAP
NO SCALE



ZONING REQUIREMENTS

ZONING: AGRICULTURAL (AG) DISTRICT
SECTION 21 - REQUIRED CONDITIONS

MINIMUM LOT WIDTH:
REQUIRED = 165 FT.
PROVIDED = 259.72 FT.

MINIMUM LOT DEPTH:
THE DEPTH OF THE LOT SHALL NOT EXCEED FOUR (4) TIMES THE LOT WIDTH AS MEASURED AT THE FRONT BUILDING.
REQUIRED MAXIMUM = 261.1' * 4 = 1044.4 FT.
PROVIDED = 721.12 FT.

MINIMUM LOT DEPTH:
REQUIRED = 165 FT.
PROVIDED = 721.12 FT.

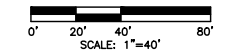
MINIMUM LOT AREA
REQUIRED = 43,560 SQ. FT.
PROVIDED = 190,261 SQ. FT.

MAXIMUM BUILDING HEIGHT:
REQUIRED = 35 FT.
PROPOSED = 27 FT.

MINIMUM YARD SETBACKS
FRONT SETBACK
REQUIRED = 50 FT.

SIDE SETBACK
EACH SIDE
REQUIRED = 30 FEET

REAR SETBACK
REQUIRED = 50 FEET

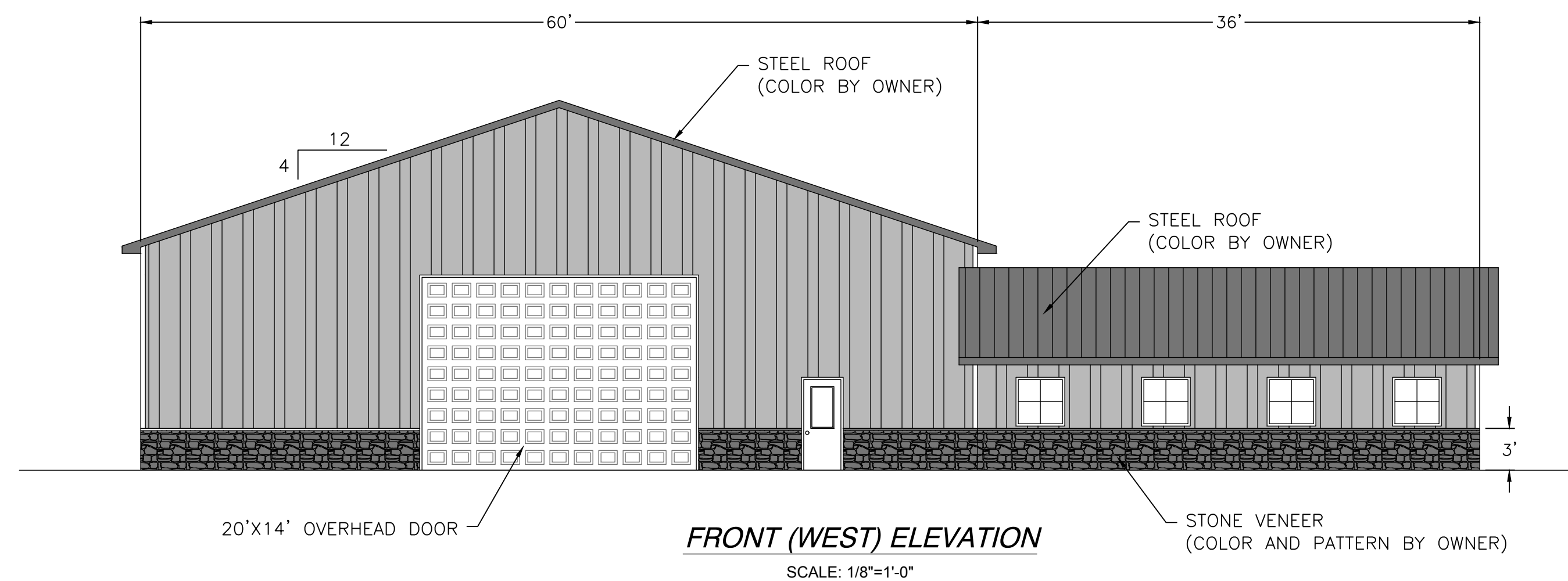


PLAN ISSUE			
PRELIMINARY			
NO.	DATE	DESCRIPTION	REVISIONS
1	08/12/19	CHANGE ASPHALT AREAS TO GRAVEL	

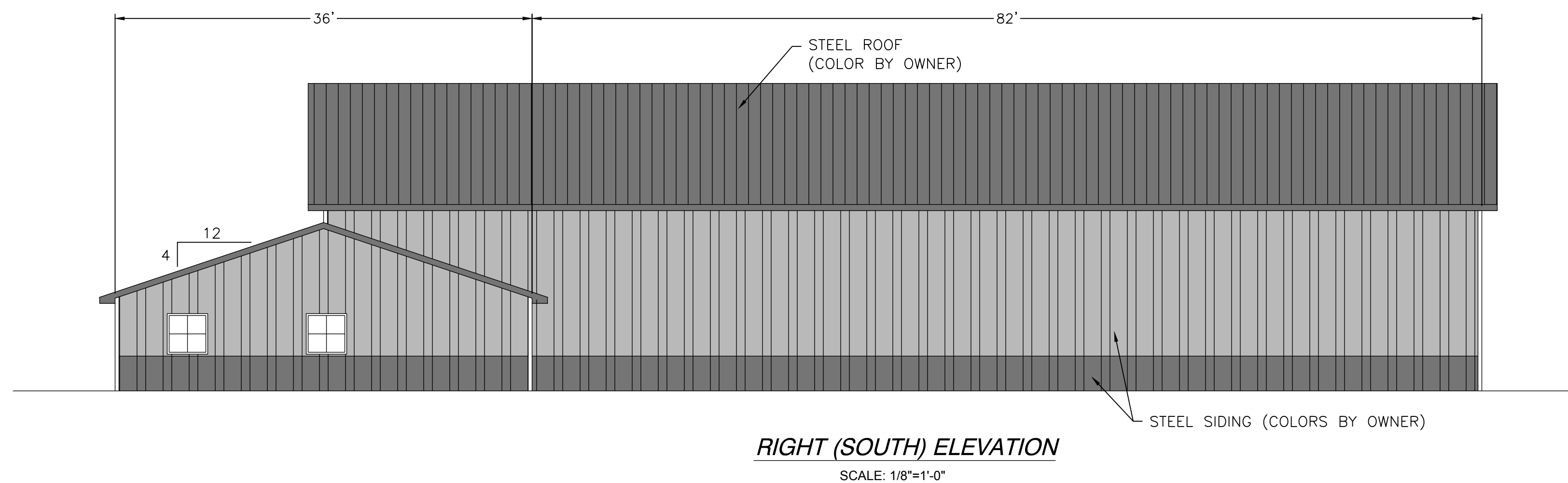
PRELIMINARY SITE PLAN
ISABELLA CONSERVATION DISTRICT
Section 2, T14N, R4W, Union Township,
Isabella County, Michigan

LORENZ
SURVEYING & ENGINEERING, INC.
3229 W. Beal City Road
Weldman, Michigan 48893
Phone: (989) 644-5953
Fax: (989) 644-9659
pete@lorenzse.com

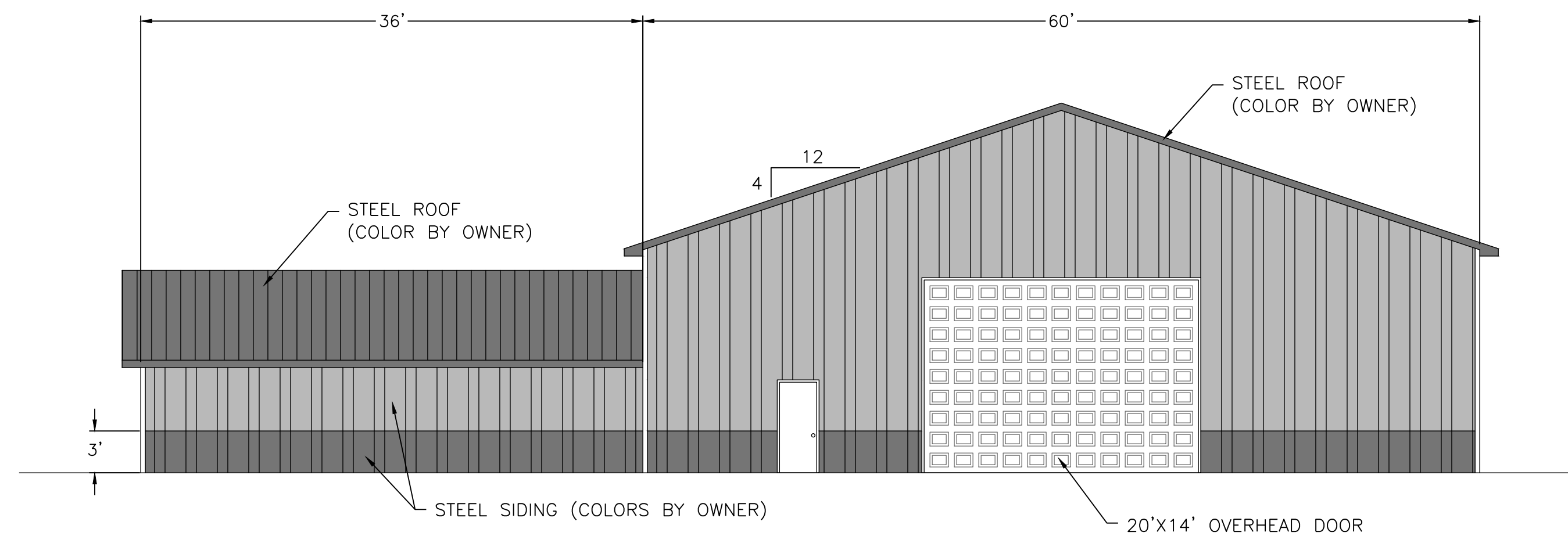
JOB NO: 190031
SCALE: 1" = 40'
DRAWN BY: TPL
DATE: May 28, 2019
SHEET NO: 1 OF 1



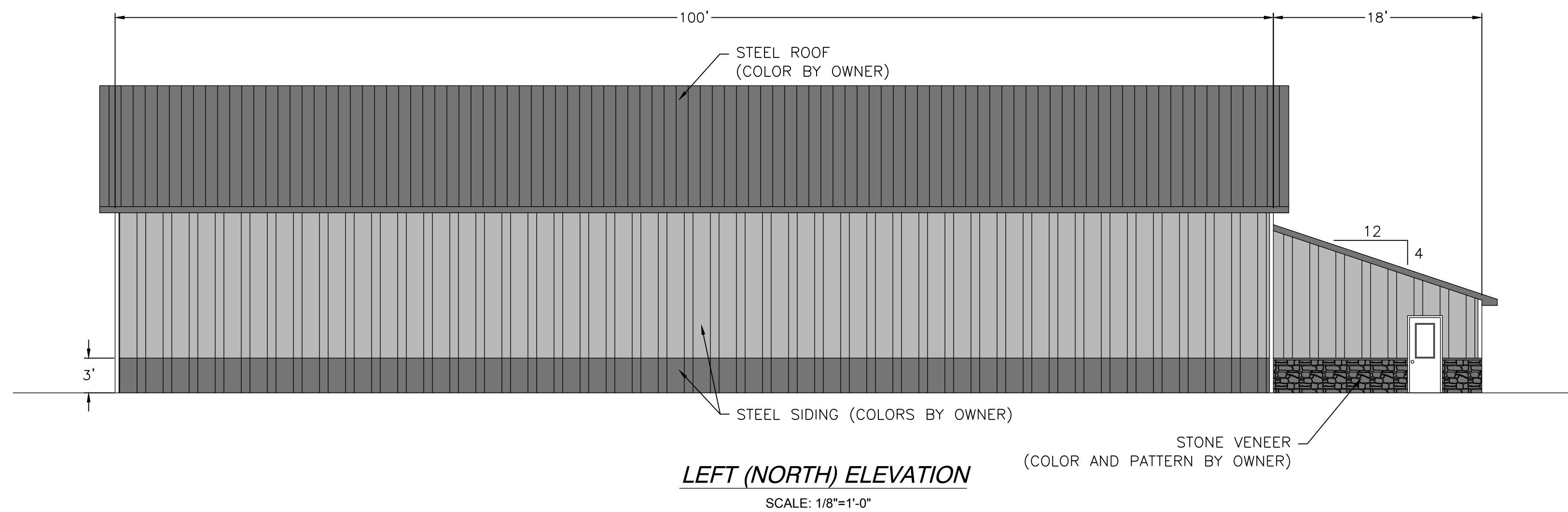
FRONT (WEST) ELEVATION
SCALE: 1/8"=1'-0"



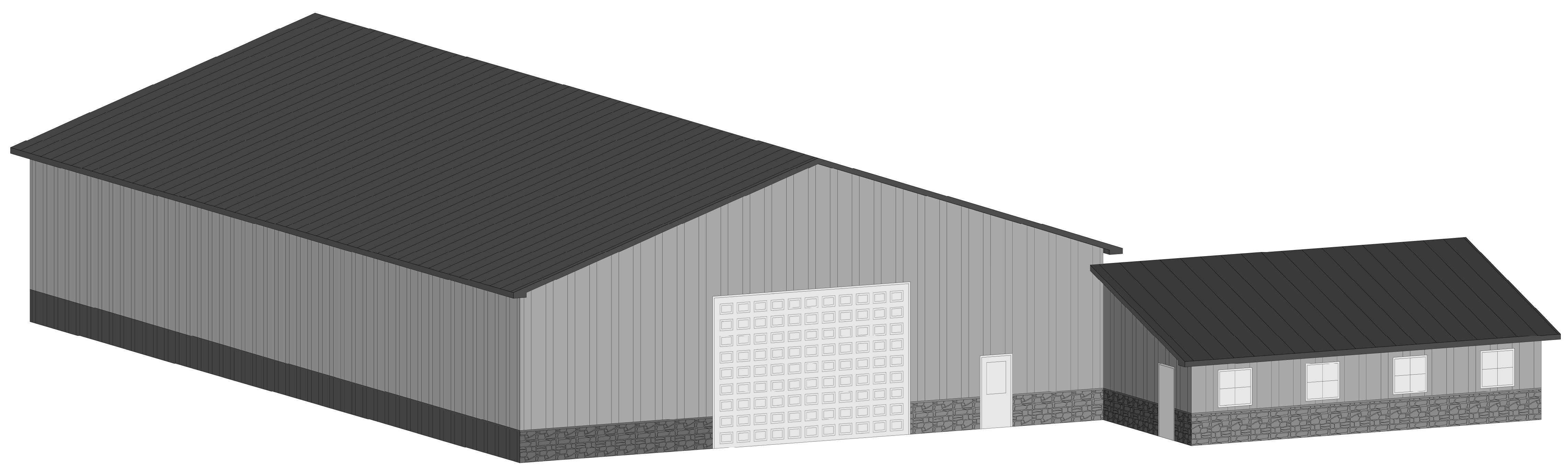
RIGHT (SOUTH) ELEVATION
SCALE: 1/8"=1'-0"



BACK (EAST) ELEVATION
SCALE: 1/8"=1'-0"



LEFT (NORTH) ELEVATION
SCALE: 1/8"=1'-0"



SOUTHWEST ISOMETRIC
NO SCALE

PLAN ISSUE:

PRELIMINARY

NO.	DATE	DESCRIPTION
1		

PRELIMINARY BUILDING ELEVATIONS
ISABELLA CONSERVATION DISTRICT
 Section 2, T14N, R4W, Union Township,
 Isabella County, Michigan

LORENZ
 SURVEYING & ENGINEERING, INC.
 3223 W. Beal City Road
 Weidman, Michigan 48893
 Phone: (989) 644-5953
 Fax: (989) 644-5659
 pete@lorenzse.com

JOB NO. 190031
 SCALE: 1/8"=1'-0"
 DRAWN BY: TPL
 DATE: May 28, 2019
 SHEET NO. **1 OF 1**

D:_PROJ\190031\DWG\190031-BLD-ELEVATIONS.dwg, Tuesday, May 28, 2019 1:45:33 PM, Pete



Peter Gallinat, Township Planner
pgallinat@uniontownshipmi.com
2010 South Lincoln
Mt. Pleasant, MI 48858
Phone 989-772-4600 Ext. 241
Fax 989-773-1988

TO: Planning Commission
FROM: Township Planner

New Business

SUBJECT: SPR 2019-06 Mitchell's Deli/McGuirk Mini Storage. Deli/Convenience Store expansion and Filling Station.

Applicant: Mitchells Deli/McGuirk Mini Storage

Owner: McGuirk Mini Storage

Location: PID14-020-20-001-01 1982 E. Remus Rd. MT PLEASANT, MI 48858

Current Zoning: B-5 (Highway Business District)

Adjacent Zoning: R-3A, B-5, R-2A

Future Land Use/Intent: Retail Service: This district is intended for the widest variety of retail and service businesses. They could range from apparel shops, auto service, and restaurants through small commercial strip centers and office buildings. This district is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well-managed access.

Current Use: Mitchells Deli

Reason for Request: Filling station for the sale of gasoline, oil, minor accessories and other incidental service. New building for convenience store and deli.

History: A special use permit for the filling station was recommended for approval by the Planning Commission at the May 2019 PC meeting. The Board of Trustees will consider that special use at eh June 12, 2019 Township Board meeting. A conceptual site plan was provided at the May meeting but was not reviewed for approval at the time. Currently, I have outside agency approvals from the Mt. Pleasant Fire Department and the Isabella County Transportation Commission. Approvals from Township Utilities, the Isabella County Road Commission/MDOT, and stormwater management approval from the Isabella County Drain office has not yet been obtained.

Objective of board: The Planning Commission shall study the site plan and shall, within sixty days of its submittal to the Zoning Official, either approve or disapprove the proposed site plan. If the site plan is disapproved, the reasons for disapproval shall be stated.

Recommendation from Township Planner

I would recommend to not approve SPR 2019-06 until all outside agency approvals have been obtained.

Peter Gallinat
Township Planner



Union Township Site Plan Review Application 2015 Revision

FILL OUT THE FOLLOWING

- I. This application is for (circle one) Preliminary Site Plan Review Final Site Plan Review
- II. Applicant Name MCGUIRK MINI STORAGE INC.
- III. Applicant Address 3046 JEN'S WAY, MT. PLEASANT
- IV. Applicant Phone 989-772-1309 Owner Phone Same
- V. Applicant is (circle) Contractor Architect/Engineer Developer Land Owner skip V& VI
Other
- VI. Land Owner Name Same as above
- VII. Land Owner Address _____
- VIII. Project/Business Name: Proposed Gas-Convenience - Deli & Eatery
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES		Off
Storm water management plan approval prior to application. Reviewed by the County Engineer	✓	Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.	✓	MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies.
Mt. Pleasant Fire Dept.	✓	Sgt Randy Keeler (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC)	✓	Rick (989) 773 2913, (2) copies
WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)		
Hazardous Substances Reporting Form Part I and II (Forms included in this packet)	✓	Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com
PERMIT INFORMATION - DEQ Check List	✓	
SITE PLAN REQUIREMENTS	I Of	Comments - (also indicate any features which will not be included in the development or are not applicable)
Name and addresses of Property Owner	✓	
Name and Address of Applicant	✓	
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)	✓	

Union Township Site Plan Review Application 2015 Revision

The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.	✓	
All lot and/or property lines are to be shown and dimensioned, including building setback lines	✓	
The location and dimensions of all existing and proposed: fire hydrants (within 400 feet of building) - - - -	✓	
drives, -----	✓	
sidewalks, (required) -----	✓	
curb openings, -----	✓	
acceleration/deceleration lanes, -----	✓	
signs, -----	✓	
exterior lighting on buildings and parking lots, - -	✓	
parking areas (Including handicapped parking spaces, barrier-free building access, unloading areas), -----	✓	
recreation areas, -----	✓	
common use areas, -----		
areas to be conveyed for public use and purpose. -		
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation	✓	
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.	✓	Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)	✓	
The location and right-of-way width of all abutting roads, streets, alleys and easements.	✓	
A locational sketch drawn to scale giving the section number and the nearest crossroads.	✓	

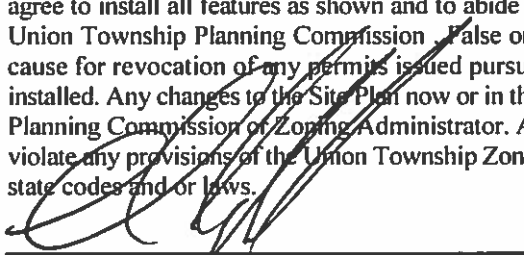
Union Township Site Plan Review Application 2015 Revision

The zoning of the subject property and the abutting properties.	✓	
The location, height and type of fences and walls.	✓	
The location and detailed description of landscaping.	✓	
For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans.		
The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary.	✓	
For apartments, provide a count of bedrooms per building and total count of bedrooms for the project.		

APPLICANT COMMENTS

Union Township Site Plan Review Application 2015 Revision

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.



Signature of Applicant

6/4/19

Date

Signature of Owner (if other than applicant)

Date

PLEASE PLACE OUR REVIEW ON THE JUNE 1, 2019 (INSERT DATE) PLANNING COMMISSION MEETING. An owners representative **WILL** WILL NOT attend. You will not receive a reminder of the scheduled meeting.

Union Township Site Plan Review Application 2015 Revision

<u>Township use</u>	Review Comments
File # _____	_____
Fee Paid initial _____	_____
Receipt # _____	_____
Date received _____	_____
Date review completed by Zoning Administrator _____	_____
Place on the _____ Planning Commission Agenda	
Planning Commission Decision _____	_____

CHARTER TOWNSHIP OF UNION

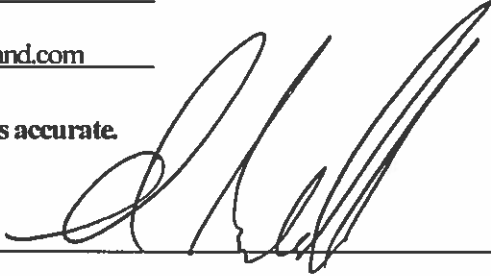
SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: MCGUIRK MINI STORAGE INC.
Name of business owner(s): CHUCK MCGUIRK
Street and mailing address: 3046 JEN'S WAY, MT. PLEASANT
Telephone: 989-772-1309
Fax: 989-773-4393
Email: chuck@mcguiirksand.com

I affirm that the information submitted is accurate.

Owner(s) signature and date:


6/4/19

Information compiled by:

SHANEE THAYER, OFFICE MANAGER
CENTRAL MI SURVEYING AND DEVELOPMENT, CO., INC.

Part 1: Management of Hazardous Substances and Polluting Materials

1. Y N Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? If yes, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.
2. Y N Will the hazardous substances or polluting materials be reused or recycled on-site??
3. Y N Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
4. Y N Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?
5. Y N Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?
- If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations . For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)
6. Y N Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)
- a. on-site holding tank
b. on-site system
- The on-site system must be approved by the MDEQ.
Contact: MDEQ Waste Management Division.
District Office telephone: 989-894-6200 (Saginaw Bay District Office)
7. Y N Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works

Part II: Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on-site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

Common Name	CHEMICAL NAME (components)	Form	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
	KEY: LIQ. = liquid P.LIQ = pressurized liquid S = solids G = gas PG = pressurized gas			KEY: AGT = above ground tank DM = drums UGT = underground tank Cy = cylinders CM = metal cylinders CW = wooden or composition container TP = portable tank



PERMIT INFORMATION

www.michigan.gov/deqpermits

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehs/quide>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the DEQ programs noted below.

KEY QUESTIONS:	Yes <input type="checkbox"/>	No <input type="checkbox"/>	PROGRAM WEBPAGE AND CONTACTS
MISCELLANEOUS CONSTRUCTION			
<i>Air Quality Permit to Install:</i> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Air Quality Division (AQD), Permit Section
<i>Asbestos Notification:</i> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, Asbestos Program
<i>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</i> Please consult the Land and Water Management Decision Tree document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?).	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Water Resources Division (WRD), Joint Permit Application
<i>Soil Erosion and Sedimentation Control:</i> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Soil Erosion and Construction Storm Water , or Contact your Local Agency
<i>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</i> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	NPDES Storm Water Permits Program , or appropriate DEQ District Office
<i>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</i> Will your business involve the construction or modification of a public swimming pool, spa or hot tub?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Public Swimming Pool Program , or appropriate DEQ District Office
<i>Threatened and Endangered Species:</i> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Endangered Species Assessment, Threatened and Endangered Species Program , 517-373-1552
Does the project involve construction or alteration of any sewage collection or treatment facility?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Appropriate District Office , WRD, Part 41 Construction Permit Program
Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Waste Management and Radiological Protection (OWMRP), Solid Waste , Appropriate DEQ District Office
Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Hazardous Waste Section, Treatment, Storage and Disposal
WATER SUPPLY (More information, see: http://www.michigan.gov/deqwater, select "drinking water")			
I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids)	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Contact your Local Water Utility
I have a private or other water supply well (Type III)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your (District or County) Local Health Department
I have a Non-Community Water Supply (Type II)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Guide , Contact your (District or County) Local Health Department
I am a community water supply (Type I)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Community Water Supply , DEQ District Office Community Water Supply Program

Does the project involve the on-site treatment, storage, or disposal of hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous and Liquid Waste</u>
Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (<u>Web Site</u>)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Appropriate <u>DEQ District Office</u>
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Material and Standards Unit</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP <u>Radioactive Material and Standards Unit</u>
Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, DWEHS, <u>Source Water Protection Unit</u>
CHEMICAL ADDITION PROJECTS			
Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office, Public Water Supply Program</u>
Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Aquatic Nuisance Control and Remedial Action Unit</u>
Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Surface Water Assessment Section</u>
OPERATIONAL PERMITS (SECTOR SPECIFIC)			
Does the project involve the transport of some other facility's non-hazardous liquid waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does the project involve the transport hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Acid Rain Permit Program</u>
Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, AQD, <u>Dry Cleaning Program</u>
Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, <u>Laboratory Services Certifications</u>
Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Medical Waste Regulatory Program</u>
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Septage Program</u>
Do you store, haul, shred or process scrap tires?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Scrap Tire Program</u>
Does the project involve the operation of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Public Swimming Pools Program</u>
Does the project involve the operation of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds</u>
Do you engage in the business of hauling bulk water for drinking or household purposes (except for your own household use)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Water Hauler Information</u>
PERSONAL LICENSES/CERTIFICATIONS			
Are you designated by your facility to be the Certified Operator to fulfill the requirements of a wastewater discharge permit (NPDES including Storm	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training, Storm Water Program</u>

WASTEWATER MANAGEMENT			
<i>Storm Water Discharge to Wetlands:</i> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Great Lakes:</i> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Inland Lakes and Streams:</i> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</i> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year <i>floodplain</i> of a watercourse?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve construction of a building or septic system in a designated Great Lakes <i>high risk erosion area</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated <i>environmental area</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated <i>critical dune area</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Sand Dune Management</u>
Does the project involve construction of a <i>dam</i> , weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Dam Safety Program</u>
CONSTRUCTION PERMITS (SECTOR SPECIFIC)			
Does the project involve the construction or alteration of a water supply system or sewage disposal system for a manufactured housing project?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Drinking Water & Municipal Assistance (ODWMA)
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA
Does the project involve the construction or modification of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds program</u>
Does the project involve the construction or modification of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Swimming pools program</u>
OPERATIONAL PERMITS			
Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Permit Section</u>
NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u>
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	WRD, <u>Permits Section</u> , or appropriate <u>DEQ District Office</u>
Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Groundwater Permits Program</u>
Does the project involve the drilling or deepening of wells for waste disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Office of Oil, Gas and Minerals (OOGM)</u>
Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>OWMRP</u> or Appropriate <u>DEQ District Office</u>

Water or Groundwater)?		
Are you a drinking water operator in charge of a water treatment or water distribution system, back-up operator, or shift operator?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Operator Training</u>
Are you a water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Well Construction Unit</u>
OIL, GAS AND MINERALS		
Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Petroleum Geology and Production Unit</u>
Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping Unit, Sand Dune Mining Program</u>
Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve mining coal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Do you want to change the status of an oil or gas well (i.e. plug the well)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve drilling of oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve plugging or deepening of an oil or gas well, or conveying rights in the well as an owner to another person?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Protection Programs</u>
STORAGE TANKS (CONSTRUCTION AND OPERATION)		
Does the project involve the installation of an aboveground storage tank for a flammable or combustible liquid (under 200 degrees Fahrenheit)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a compressed natural gas dispensing station with storage?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a liquefied petroleum gas container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation, removal, or upgrade of an underground storage tank containing a petroleum product or a hazardous substance?	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a hydrogen system?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>



**Mount Pleasant Fire Department
804 E. High Street
Mount Pleasant, MI 48858**

Union Township Site Plan Review

Monday June 10, 2019

Mitchell's Deli

1982 E Remus RD
Mt. Pleasant, MI 48858

A Site Plan Review was conducted on Monday June 10, 2019 and revealed the following requirements listed below.

ORDER TO COMPLY: Since these conditions are contrary to code, you must correct them upon receipt of this notice. Please provide our department the documentation that verifies compliance with the code.

This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.

If you have any questions regarding this matter, please feel free to contact me at (989) 779-5122.

Violation Code

1 PROPERTY Identification

Proposed Gas Station/Deli-Convenience Store
1982 E Remus

7,700 sq. ft. open mixed use building
Submitted to Township 6/4/19

ACCESS AND WATER Road and Water Supply

When fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternative methods of protection are provided. Temporary street signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles in accordance with Section 505.2 of the 2012 Edition of the International Fire Code.

ACCESS ROAD 150 FT Buildings within 150ft of Access Road

All portions of a building are required to be within 150 feet of an approved Fire Department access road, in accordance with Chapter 5, Section 503.1.1 of the 2012 Edition of the International Fire Code.

Site plan meets requirements.

Union Township Site Plan Review

ACCESS ROAD LOAD Designed and Maintained to Support the

All fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities in accordance with Chapter 5, Sections 503.2.3 and 503.4 of the 2012 Edition of the International Fire Code.

ACCESS ROAD OBSTRUCTED Dimensions and Clearances

All fire apparatus access roads, including parking lots, shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches in accordance with Chapter 5, Sections 503.2.1, 503.2.2, 503.3 and 503.4 of the 2012 Edition of the International Fire Code. Fire Prevention Ordinance 93.02(D)

BUILDING IDENTIFICATION Buildings Shall Have Address

Provide address identification numbers in accordance with Chapter 5, Sections 505.1 of the 2012 Edition of the International Fire Code or applicable to the City of Mt. Pleasant code of ordinances 150.01 Land Usage.

WATER SUPPLY (SPACING) Number and Spacing of Hydrants

Provide fire hydrant locations in accordance with Chapter 5, Section 507.5.1 of the 2012 Edition of the International Fire Code. The number and spacing of fire hydrants is based on the construction type and square footage of the building in accordance with Appendix B and C and tables B105.1 and C105.1 of the 2012 Edition of the International Fire Code.

7,700 sq. ft. building required flow of 2,500 gpm-2 hydrants required.
New hydrant and existing hydrants meet required fire flow.

HYDRANT DISTANCE Hydrant maximum distance from buildings

Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exceptions: 1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet (183 m). 2. For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet (183 m).

Site plan meets requirements.

Union Township Site Plan Review

KNOX BOX Knox Box Requirements and Location

Provide a Knox Key entry device and install it in approved location by the Fire Code Official, as in accordance with Chapter 5, Section 506.1, 506.1.1 and 506.2 of the 2012 Edition of the International Fire Code. (Go to Knoxbox.com and search by fire department or zip code - select "Mt. Pleasant Fire Department" and place order for the type of Knox box desired.)

FDC LOCATION FDC Location and Distance

Fire Department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as other wise approved by the fire chief. The fire department connection shall be located within 150 feet of a fire hydrant , in accordance with Chapter 9, Section 912.2.1 of the 2012 Edition of the International Fire Code and the Fire Prevention Ordinance 93.12 Provide a 5" Storz Fire Department Connection with a 30 degree downturn.

If the building is designed as an open mixed use then the fire protection features are based on the most restrictive use. The most restrictive use in this case is the A-2 Restaurant. Under the A-2 use an automatic sprinkler system would be required if one of the following conditions are met:

1. The fire area exceeds 5,000 square feet.
2. The fire area has an occupant load of 100 or more
3. The fire area is located on a floor other than a level of exit discharge serving such occupancies.

GENERAL STATEMENT List Not All-Inclusive

This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.

Keeler, Randy
Lieutenant
Mount Pleasant Fire Department

Peter Gallinat

From: Rick Collins <rcollins@ictcbus.com>
Sent: Thursday, June 6, 2019 9:39 AM
To: Peter Gallinat
Cc: 'Timothy Bebee'; info@cms-d.com
Subject: RE: MITCHELLS-MCGUIRK GAS STATION SITE REVIEW

Peter,

I have reviewed the plans for Mitchells-Mcguirk gas station and have no issues.



Rick Collins | Executive Director
2100 E. Transportation Dr | Mt. Pleasant, MI 48858
Phone 989.773.6766 | Fax 989.773.1873
rcollins@ictcbus.com
Visit our website at ictcbus.com

From: info@cms-d.com [mailto:info@cms-d.com]
Sent: Wednesday, June 05, 2019 5:20 PM
To: Rick Collins <rcollins@ictcbus.com>
Cc: 'Timothy Bebee' <tbebee@cms-d.com>
Subject: MITCHELLS-MCGUIRK GAS STATION SITE REVIEW

Rick,

Attached is the site plan for the corner of Lincoln and Remus. Please review per Union Township requirements.

Let us know if you have any comments or revisions.

Please email approval letter to Peter Gallinat at Union Township and copy our office.

Thank you

Shanee Thayer
Office Manger



2257 East Broomfield Road
Mt. Pleasant, MI 48858
Phone: 989-775-0756
Fax: 989-775-5012
Email: info@cms-d.com



Virus-free. www.avg.com

PROPOSED FINAL SITE PLAN FOR PROPOSED GAS-CONVENIENCE-DELI & EATERY

B-5 ZONE	
MINIMUM FRONT YARD SETBACK	50 FT (A,B)
MINIMUM SIDE YARD SETBACK	20 FT (B)
MINIMUM REAR YARD SETBACK	25 FT (A,B)
MINIMUM LOT FRONTAGE	100 FT
MINIMUM LOT AREA (SQ FT)	16,000 SQ FT
MAXIMUM BUILDING HEIGHT	35 FT
MAXIMUM LOT COVERAGE (%)	30%

- A. OFF-STREET PARKING SHALL BE PERMITTED TO OCCUPY A PORTION OF THE REQUIRED FRONT YARD, PROVIDED THAT THERE SHALL BE MAINTAINED A MINIMUM UNOBSTRUCTED AND LANDSCAPED SETBACK OF TEN (10) FEET BETWEEN THE NEAREST POINT OF THE OFF-STREET PARKING AREAS, EXCLUSIVE OF ACCESS DRIVEWAYS AND THE NEAREST RIGHT-OF-WAY LINE AS INDICATED ON THE MAJOR THOROUGHFARE PLAN.
- B. A LOT IN THE B-5 DISTRICT WILL PROVIDE A SIDE AND REAR YARD OF AT LEAST FORTY (40) FEET WHEN ABUTTING A RESIDENTIAL DISTRICT.

R-3A ZONE	
MINIMUM FRONT YARD SETBACK	35 FT
MINIMUM SIDE YARD SETBACK	30 FT
MINIMUM REAR YARD SETBACK	25 FT
MAXIMUM BUILDING HEIGHT	35 FT (F)
MINIMUM LOT AREA (TWO FAM.)	(G)
MINIMUM LOT AREA (SING. FAM.)	(G)
MINIMUM FLOOR AREA (SING. FAM.)	500 SQ. FT.

- B. MINIMUM FLOOR AREA EXCLUDES PORCHES, GARAGES, BASEMENTS, OR UTILITY AREAS. FOR EACH ADDITIONAL BEDROOM ADD ONE HUNDRED (100) SQUARE FEET.
- F. NO BUILDING OR STRUCTURE SHALL EXCEED A HEIGHT OF THIRTY-FIVE (35) FEET, EXCEPT APARTMENTS MAY BE INCREASED NOT TO EXCEED A MAXIMUM HEIGHT OF SEVENTY (70) FEET; PROVIDED THAT ANY REQUIRED YARD SHALL BE INCREASED BY ONE (1) FOOT FOR EACH IN HEIGHT THE STRUCTURE EXCEEDS THIRTY-FIVE (35) FEET.
- G. MULTI-FAMILY

REQUIRED GROUND PER UNIT, NO. UNITS	R-3A
MINIMUM FRONT YARD SETBACK	4,000 SQ FT
MINIMUM SIDE YARD SETBACK	3,600 SQ FT
MINIMUM REAR YARD SETBACK	3,200 SQ FT
MAXIMUM BUILDING HEIGHT	2,900 SQ FT

MISS DIG.

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

UTILITY NOTE:

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-282-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

LEGEND

SYMBOLS

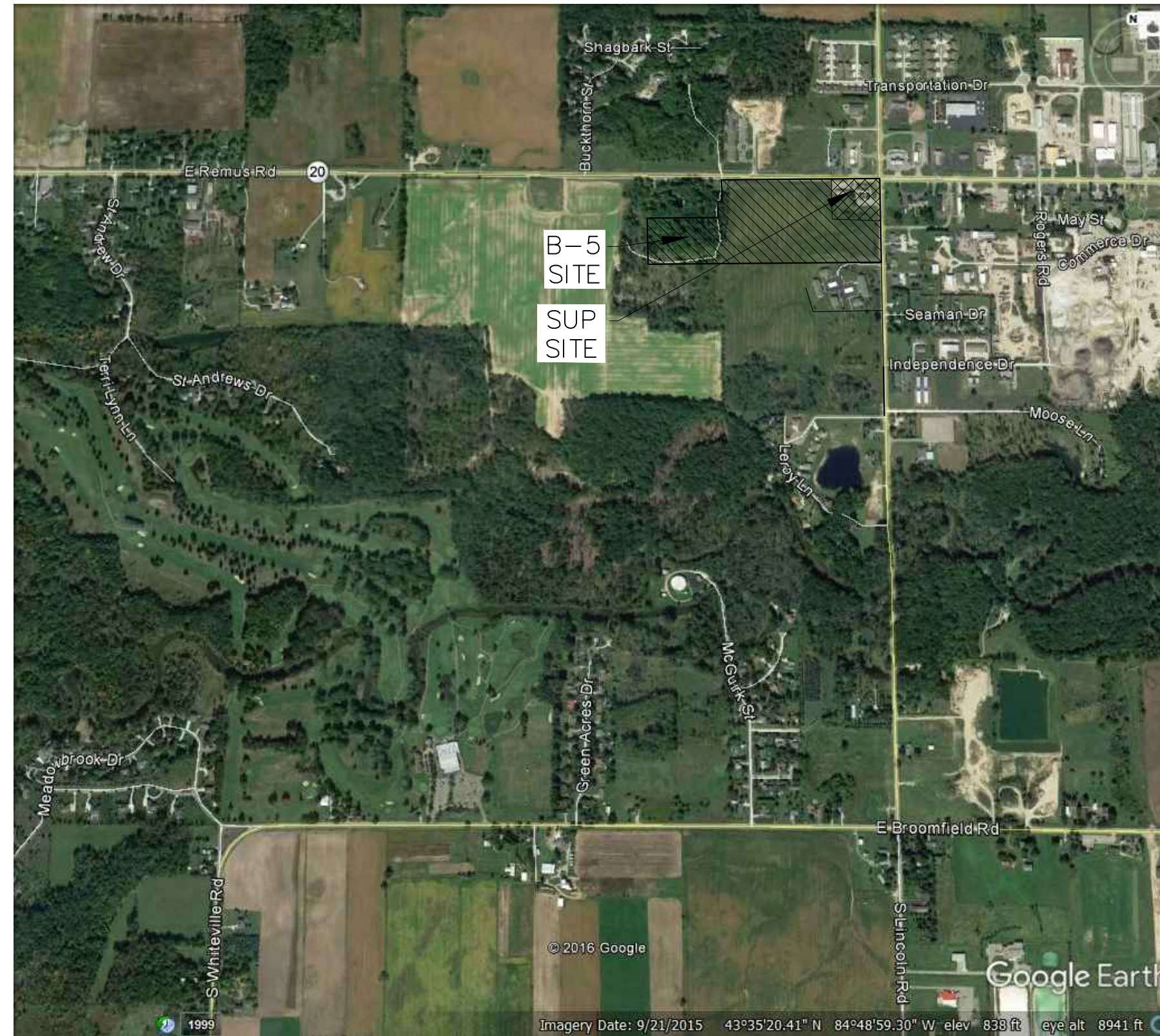
○ BOLLARD	⊠ GAS RISER	● SOIL BORING
⊠ CATCH BASIN (CURB INLET)	⊠ GUY ANCHOR	⊙ STORM SEWER MANHOLE
⊙ CATCH BASIN (ROUND)	⊠ HYDRANT - EXISTING	⊠ TELEPHONE RISER
⊠ CATCH BASIN (SQUARE)	⊠ HYDRANT - PROPOSED	● TREE - CONIFEROUS
⊙ CLEAN OUT	☆ LIGHT POLE	● TREE - DECIDUOUS
→ DRAINAGE FLOW	⊠ MAILBOX	⊙ UTILITY POLE
⊠ ELECTRICAL BOX	⊙ MONITORING WELL	⊠ WATER MAIN VALVE
● FOUND CONC. MONUMENT	⊙ SANITARY SEWER MANHOLE	⊠ WATER SHUT-OFF
○ FOUND IRON	⊙ SET IRON	⊙ WATER WELL
⊠ GAS MAIN VALVE	⊠ SIGN	⊠ WOOD STAKE

LINETYPES

—ELEC—	BURIED ELECTRICAL CABLE
—PHONE—	BURIED TELEPHONE CABLE
—DITCH-CL—	CENTERLINE OF DITCH
—FM—	FORCE MAIN
—GAS—	GAS MAIN
—RD-CL—	ROAD CENTERLINE
—8" SAN—	SANITARY SEWER
—12" SS—	STORM SEWER
—EX-TOS—	TOE OF SLOPE
—EX-TOP—	TOP OF BANK
—OHE—	UTILITIES - OVERHEAD
—UTIL—	UTILITIES - UNDERGROUND
—12" WM—	WATER MAIN

HATCH PATTERNS

[Hatch Pattern]	ASPHALT - EXISTING
[Hatch Pattern]	ASPHALT - PROPOSED
[Hatch Pattern]	CONCRETE
[Hatch Pattern]	GRAVEL
[Hatch Pattern]	LANDSCAPING
[Hatch Pattern]	RIP-RAP



PART OF THE NORTHEAST 1/4, SECTION 20, T14N-R4W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

LOCATION MAP NOT TO SCALE

PROPOSED B-5 SPECIAL USE PARCEL DESCRIPTION:

A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-42'-08"W., ON AND ALONG THE NORTH LINE OF SAID SECTION, 374.87 FEET; THENCE S.00°-30'-00"E., 387.76 FEET; THENCE N.88°-53'-18"E., 377.78 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 20; THENCE N.00°-55'-57"W., ON AND ALONG SAID EAST SECTION LINE, 382.63 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 3.33 ACRES MORE OR LESS AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

SHEET INDEX

1	COVER SHEET
2	OVERALL BOUNDARY EASEMENT SHEET
3	PROPOSED PARCEL CONFIGURATION
4	EXISTING TOPOGRAPHY SURVEY
5	HORIZONTAL LAYOUT PLAN
6	GRADING PLAN
7	OVERALL SITE & UTILITY PLAN

FLOOD ZONE CERTIFICATION:

A PORTION OF SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF A BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 26073C0305D WITH AN EFFECTIVE DATE OF FEBRUARY 5, 2014 FOR ISABELLA COUNTY, MICHIGAN COMMUNITY NO. 260812 IN UNION CHARTER TOWNSHIP, ISABELLA COUNTY, STATE OF MICHIGAN WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.

BENCHMARKS:

BENCHMARK #1: FOUND AN ALUMINUM MICHIGAN DEPARTMENT OF TRANSPORTATION HEIGHT MODERNIZATION MARK DISK SET IN THE TOP OF A 12 INCH DIAMETER CONCRETE POST. LOCATION IS AT THE SOUTH EAST CORNER OF THE LINCOLN ROAD AND REMUS ROAD (M-20) INTERSECTION. ELEVATION 786.62

BEARING BASIS:

PER GEODETIC OBSERVATION WGS-84 THE BEARING BETWEEN THE NORTHEAST CORNER AND THE NORTH 1/4 CORNER OF SECTION 20, T14N-R4W WAS DETERMINED TO BE S89°-42'-08"W.

SITE:

SOUTHWEST CORNER OF THE INTERSECTION OF REMUS ROAD (M-20) AND LINCOLN ROAD. MT. PLEASANT, MI 48858

APPLICANT:

MITCHELL'S DELI
1982 EAST REMUS ROAD
MT. PLEASANT, MICHIGAN 48858
PHONE 989-317-8388

OWNER:

MCGUIRK MINI-STORAGE, INC.
3046 JENS WAY
MT. PLEASANT, MICHIGAN 48858
CONTACT: CHUCK MCGUIRK
PHONE: (989) 772-9290

CONSULTANT:

CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC.
510 W. PICKARD STREET - SUITE C
MT. PLEASANT, MI 48858
CONTACT PERSON: TIMOTHY E BEBEE
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com

CHARTER TOWNSHIP OF UNION

915 E. BROOMFIELD ROAD
MT. PLEASANT, MI 48858
(989) 621-4932
RANDY BUNKER
rbunker@chartercom.com

CONSUMERS ENERGY

1325 WRIGHT AVENUE
ALMA, MI 48801
(989) 466-4282
KIM STUDDT
kimberly.studdt@cmsenergy.com

FRONTIER

345 PINE STREET
ALMA, MI 48801
(989) 463-0392
MARK A. MARSHALL
Mark.Marshall@ftr.com

DTE ENERGY

4420 44TH ST., S.E., SUITE B
KENTWOOD, MI 49512
(616) 954-4623
MARY JO MCKERSE
mckersiem@dteenergy.com

MT. PLEASANT FIRE DEPARTMENT

804 EAST HIGH STREET
MT. PLEASANT, MI 48858
(989) 779-5100 EXT 5122
SGT. RANDY KEELER
rkeeler@mt-pleasant.org

CHARTER TOWNSHIP OF UNION

PUBLIC WATER/PUBLIC SEWER
2010 N. LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 24
KIM SMITH
ksmith@uniontownshipmi.com

CHARTER TOWNSHIP OF UNION

PLANNING & ZONING
2010 NORTH LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 241
PETER GALLINAT
pgallinat@uniontownshipmi.com

DRAIN COMMISSIONERS OFFICE

ISABELLA COUNTY BUILDING
200 NORTH MAIN STREET ROOM 140
MT. PLEASANT, MI 48857
(989) 772-0911
RICK JAKUBIEC
drain@isabellacounty.org

ISABELLA COUNTY ROAD COMMISSION

1221 EAST REMUS ROAD
MT. PLEASANT, MI 48858
(989) 773-7131 EXT 115
PATRICK GAFFNEY
Pgaffney@isabellaroads.com

CMS & D
SURVEYING/ENGINEERING
2257 EAST BROOMFIELD ROAD
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com



COVER SHEET
MITCHELL'S & MCGUIRK MINI STORAGE, INC.
PART OF THE NORTHEAST 1/4,
SECTION 20, T14N-R4W
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS PER M.D.O.T., I.C.R.C. & I.C.D.C.

SUBMITTALS:
SUBMITTAL TO TWP PLANNING COM. 6-04-19
RE-SUBMITTAL TO TWP PLANNING COM. 6-13-19

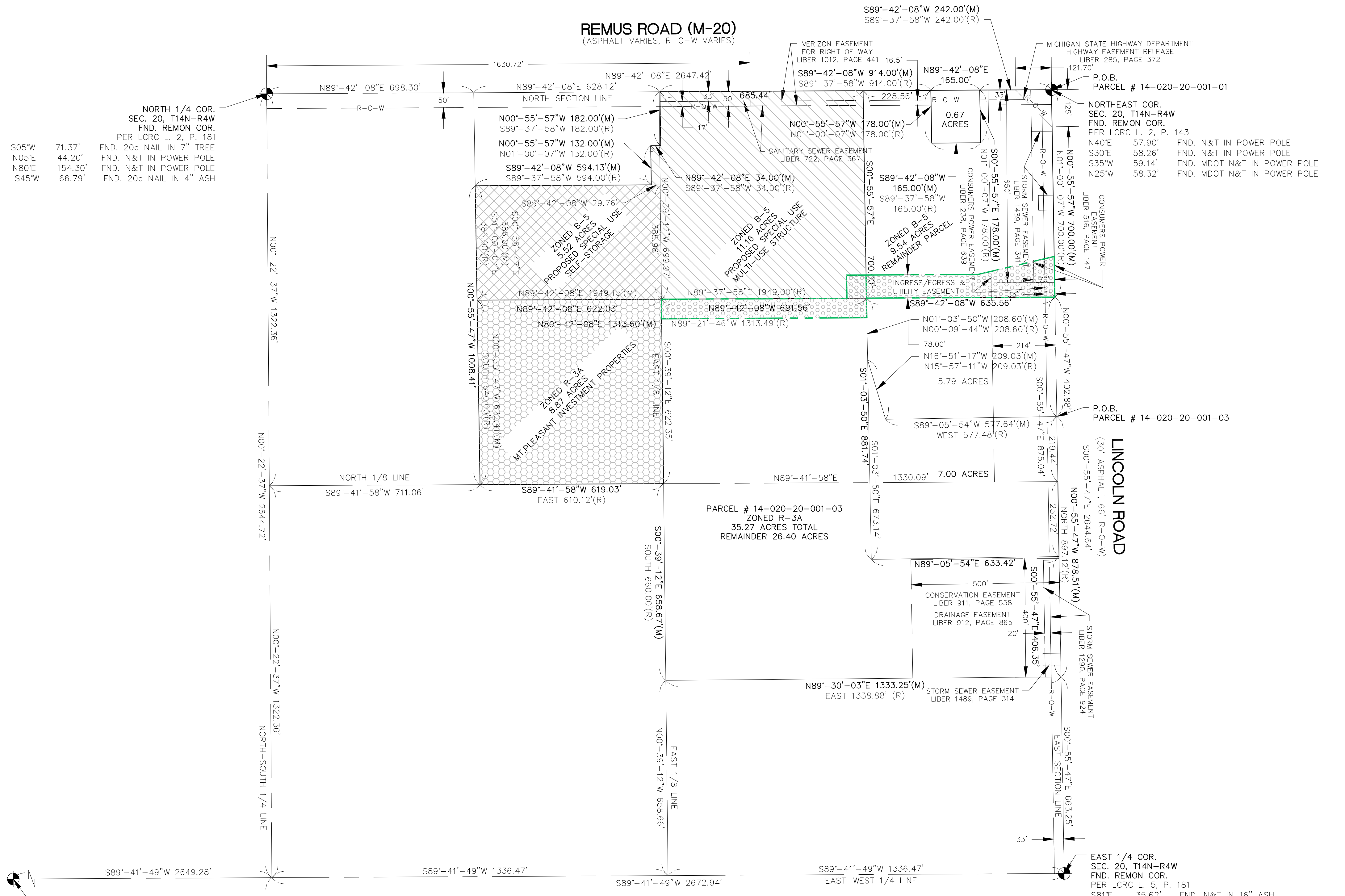
JOB NUMBER:
1902-014

SCALE:
N/A

SHEET NUMBER:
1 OF 7

DESIGNED BY:
WRE/TELB

CHECKED BY:
TELB



NOTE:
BEARING BASIS PER GEODETIC
OBSERVATION WGS-84 THE BEARING
BETWEEN THE NORTH 1/4 CORNER AND
THE NORTHEAST CORNER WAS
DETERMINED TO BE N89°-42'-08"E

EXISTING STRUCTURE TABLE	
EX-STM #1	RIM = 786.71 FLOWLINE N-S 767.26 60" RCP INV. E. 781.90 12" RCP INV. N. 781.93 30" RCP
EX-STM #2	RIM = 777.59 FLOWLINE N-S 767.59 60" RCP INV. E. 771.89 12" RCP INV. N. 771.89 12" RCP
EX-CB #1	RIM 789.42 INV. E. 785.23 18" RCP INV. W. 785.15 18" RCP INV. NW. 786.25 6" N-12
EX-CB #2	RIM 787.26 INV. N. 781.26 24" RCP INV. S. 780.51 30" RCP INV. W. 781.91 18" RCP
EX-CB #3	RIM 785.41 FLOWLINE N-S 768.91 60" RCP INV. E. 779.76 12" RCP INV. N. 778.71 30" RCP
EX-CB #4	RIM 786.78 INV. ESE. 781.28 24" RCP INV. W. 781.08 12" RCP
EX-CB #5	RIM 786.82 INV. SE. 781.33 24" RCP INV. WNW. 781.27 24" RCP
EX-CB #6	RIM 782.35 INV. E. 775.50 12" RCP
EX-CB #7	RIM 782.51 INV. W. 779.11 12" RCP
EX-CB #8	RIM 774.73 INV. E. 768.28 18" RCP INV. W. 768± 15" RCP
EX-CB #9	RIM 782.06 FLOW LINE E-W 769.71 36" RCP

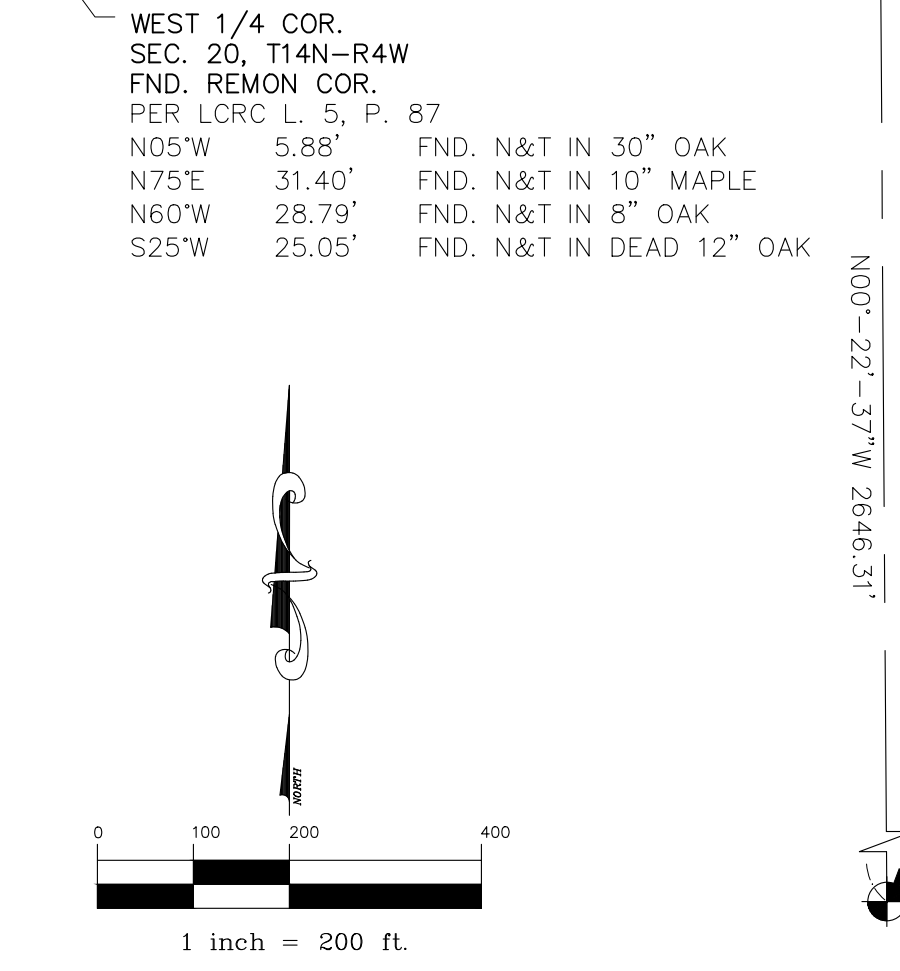
SCHEDULE B - SECTION 2 EXCEPTIONS TITLE COMMITMENT
17-11499(a) & 17-11500(b) & 434271(c).

- 13(a) EASEMENT AS SET FORTH IN LIBER 1298, PAGE 924, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
- 13(b) PERMANENT EASEMENT AS SET FORTH IN LIBER 1489, PAGE 341, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
- 13(c) RIGHT OF WAY FOR CONSUMERS POWER COMPANY OVER PART OF CAPTIONED LAND DATED MAY 2, 1949 AND RECORDED DECEMBER 21, 1949 IN LIBER 238, PAGE 639. AS SHOWN ON SURVEY.
- 14(a) PERMANENT EASEMENT AS SET FORTH IN LIBER 1489, PAGE 314, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
- 14(b) EASEMENT FOR TIGHT-OF-WAY AS SET FORTH IN LIBER 4102, PAGE 441, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
- 14(c) EASEMENT GRANTED TO THE STATE OF MICHIGAN OVER PART OF CAPTIONED LAND DATED AUGUST 9, 1944 AND RECORDED AUGUST 29, 1944 IN LIBER 265, PAGE 372. AS SHOWN ON SURVEY.
- 15(a) RECIPROCAL USE AGREEMENT A SET FORTH IN LIBER 912, PAGE 870 ISABELLA COUNTY RECORDS. NOT SHOWN ON SURVEY, DOES NOT AFFECT THE SUBJECT PROPERTY.
- 15(b) EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF SEWERS AS SET FORTH IN LIBER 722, PAGE 367, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
- 16(a) EASEMENT AS SET FORTH IN LIBER 912, PAGE 865, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
- 16(b) EASEMENT AND RIGHT OF WAY IN FAVOR OF CONSUMERS ENERGY, AS SET FORTH IN LIBER 870, PAGE 953, RELEASE OF EASEMENT NOT SHOWN ON SURVEY. IN LIBER 862, PAGE 264, RELEASE OF EASEMENT NOT SHOWN ON SURVEY. IN LIBER 516, PAGE 147, AS SHOWN ON SURVEY. AND IN LIBER 185, PAGE 396, EASEMENT RELEASED IN DOCUMENTS RECORDED IN LIBER 870, PAGE 953 AND LIBER 862, PAGE 264, NOT SHOWN ON SURVEY.
- 17(a) CONSERVATION EASEMENT AS SET FORTH IN LIBER 911, PAGE 558, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
- 17(b) HIGHWAY EASEMENT RELEASE GRANTED TO THE STATE OF MICHIGAN FOR HIGHWAY PURPOSES, AS SET FORTH IN LIBER 265, PAGE 372. AS SHOWN ON SURVEY.
- 18(a) EASEMENT FOR INGRESS AND EGRESS AS SET FORTH IN LIBER 909, PAGE 332, ISABELLA COUNTY RECORDS. NOT SHOWN ON SURVEY, DOES NOT AFFECT SUBJECT PROPERTY.
- 19(A) EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF SEWERS AS SET FORTH IN LIBER 722, PAGE 367, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
- 20(a) EASEMENT AND RIGHT OF WAY IN FAVOR OF CONSUMERS ENERGY, AS SET FORTH IN LIBER 870, PAGE 953, RELEASE OF EASEMENT NOT SHOWN ON SURVEY. IN LIBER 862, PAGE 264, RELEASE OF EASEMENT NOT SHOWN ON SURVEY. IN LIBER 516, PAGE 147, AS SHOWN ON SURVEY. AND IN LIBER 185, PAGE 396, EASEMENT RELEASED IN DOCUMENTS RECORDED IN LIBER 870, PAGE 953 AND LIBER 862, PAGE 264, NOT SHOWN ON SURVEY.
- 21(a) HIGHWAY EASEMENT RELEASE GRANTED TO THE STATE OF MICHIGAN FOR HIGHWAY PURPOSES, AS SET FORTH IN LIBER 265, PAGE 372. AS SHOWN ON SURVEY.

DESCRIPTION PROVIDED: (TITLE COMMITMENT NO. 17-11500)
TOWNSHIP OF UNION, COUNTY OF ISABELLA, STATE OF MICHIGAN.
PART OF THE NORTH 700.00 FEET OF THE EAST 1949.00 FEET OF SECTION 20, T.14 N.-R.4 W., DESCRIBED AS: BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-37'-58"W, ALONG THE NORTH SECTION LINE, 242.00 FEET; THENCE S.01°-00'-07"E, PARALLEL TO THE EAST SECTION LINE, 178.00 FEET; THENCE S.89°-37'-58"W, 165.00 FEET; THENCE S.89°-37'-58"W, 165.00 FEET; THENCE N.01°-00'-07"W, 178.00 FEET TO THE NORTH SECTION LINE; THENCE S.89°-37'-58"W, ALONG SAID NORTH SECTION LINE, 914.00 FEET; THENCE S.01°-00'-07"E, 182.00 FEET; THENCE S.89°-37'-58"W, 34.00 FEET; THENCE S.01°-00'-07"E, 132.00 FEET; THENCE S.89°-37'-58"W, 594.00 FEET; THENCE S.01°-00'-07"E, 386.00 FEET; THENCE N.89°-37'-58"E, 1949.00 FEET TO THE EAST SECTION LINE; THENCE N.01°-00'-07"W, ALONG SAID EAST SECTION LINE, 700.00 FEET BACK TO THE PLACE OF BEGINNING.

DESCRIPTION PROVIDED: (TITLE COMMITMENT NO. 17-11499)
TOWNSHIP OF UNION, COUNTY OF ISABELLA, STATE OF MICHIGAN.
COMMENCING 1102.88 FEET SOUTH OF THE NORTHEAST CORNER OF SECTION 20, T.14 N.-R.4 W., THENCE WEST 577.48 FEET; THENCE N.15°-51'-11"W, 209.03 FEET; THENCE N.00°-09'-44"W, 208.60 FEET; THENCE N.89°-21'-46"W, 1313.48 FEET; THENCE SOUTH, 640.00 FEET; THENCE EAST, 610.12 FEET; THENCE SOUTH, 660.00 FEET; THENCE EAST, 1338.88 FEET; THENCE NORTH, 897.12 FEET TO THE POINT OF BEGINNING.

DESCRIPTION PROVIDED: (TITLE COMMITMENT NO. 434271)
THE WEST 165.00 FEET OF THE EAST 407 FEET OF THE NORTH 178 FEET OF THE NORTHEAST 1/4 OF SECTION 20, T.14 N.-R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.
AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N.-R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-37'-58"W, ON AND ALONG THE NORTH LINE OF SAID SECTION, 242.00 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.01°-00'-07"E, PARALLEL WITH THE EAST LINE OF SAID SECTION, 178.00 FEET; THENCE S.89°-37'-58"W, PARALLEL WITH SAID NORTH SECTION LINE, 165.00 FEET; THENCE N.01°-00'-07"W, PARALLEL WITH SAID EAST SECTION LINE, 165.00 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 0.674 ACRES OF LAND.



SOUTH 1/4 COR.
SEC. 20, T14N-R4W
FND. REMON COR.
PER LCRC L. 3, P. 249
N29°E 34.56' FND. PK IN POWER POLE
N69°E 141.47' FND. CONC. MONUMENT
S20°E 52.75' FND. PK IN POWER POLE
S70°W 147.58' FND. N&T IN POWER POLE
N05°W 30.91' S. FACE S. END POST OF CHAIN LINK FENCE

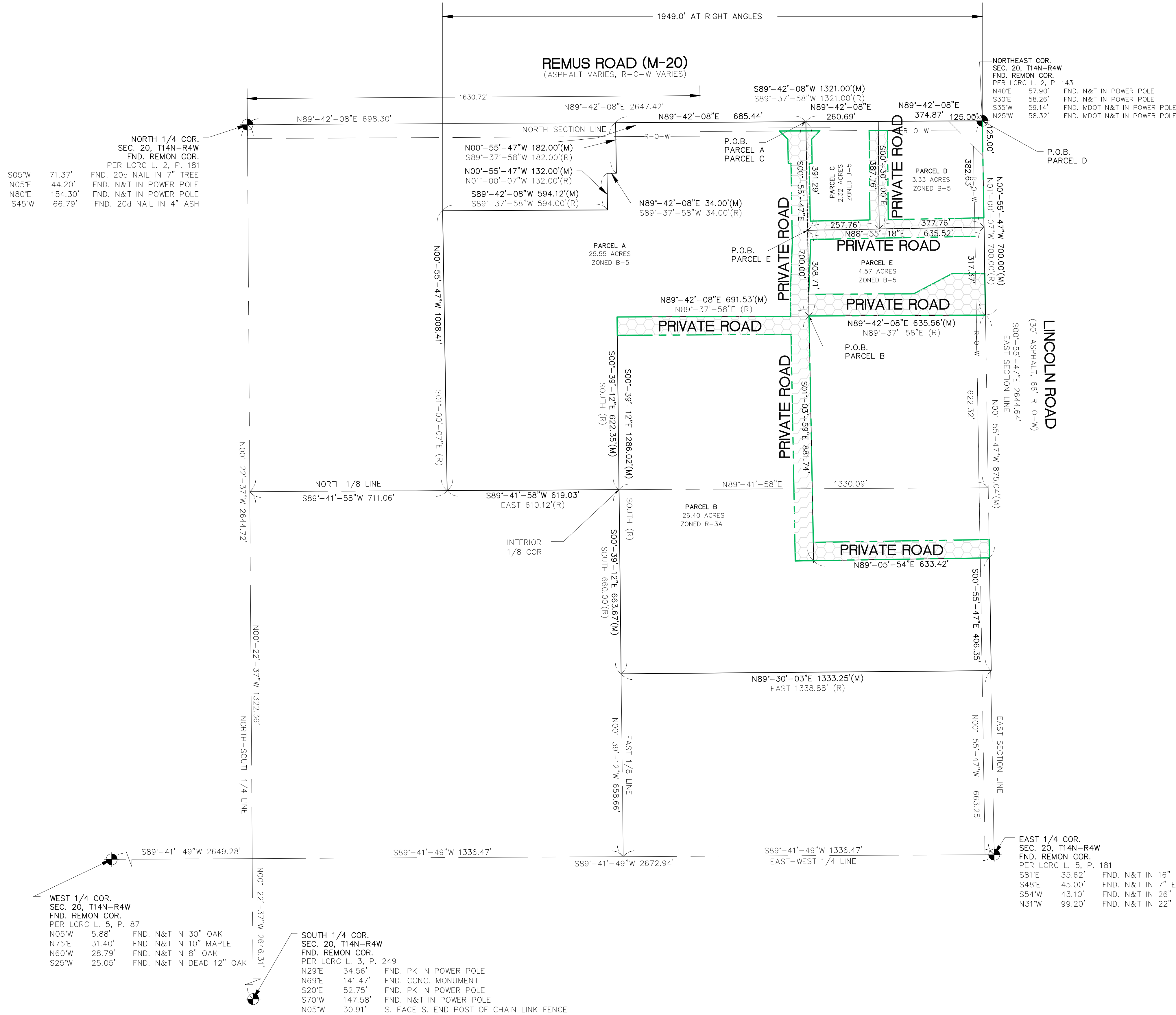


REVISIONS:
 REGIONS PER M.D.O.T., I.C.R.C. & I.C.D.C.

SUBMITTALS:
 SUBMITTAL TO TWP PLANNING COM. 6-04-19
 RE-SUBMITTAL TO TWP PLANNING COM. 6-13-19

JOB NUMBER:
 1902-014
 DRAWN BY:
 WRE/TELB
 DESIGNED BY:
 NA
 CHECKED BY:
 TELB

SCALE
 1" = 200'
 SHEET NUMBER
 3 OF 7



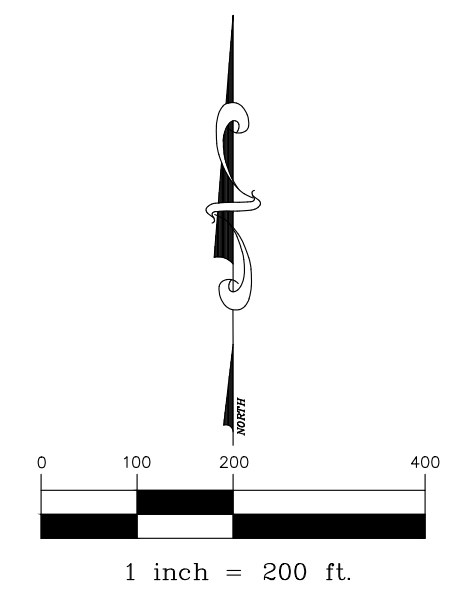
PARCEL A
 A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-42'-08"W, ON AND ALONG THE NORTH LINE OF SAID SECTION, 635.56 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°-55'-47"E, PARALLEL WITH THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W, PARALLEL WITH SAID NORTH SECTION LINE, 691.53 FEET TO A POINT ON THE EAST 1/8 LINE OF SAID SECTION; THENCE S.00°-39'-12"E, ON AND ALONG SAID EAST 1/8 LINE, 622.35 FEET TO THE INTERIOR 1/8 CORNER OF THE NORTHEAST 1/4 OF SAID SECTION 20; THENCE S.89°-41'-58"W, ON AND ALONG THE NORTH 1/8 LINE OF SAID SECTION, 619.03 FEET; THENCE N.00°-55'-47"W, PARALLEL WITH AND 1949.00 FEET WEST OF THE EAST LINE OF SAID SECTION, 1008.41 FEET; THENCE N.89°-42'-08"E, PARALLEL WITH SAID NORTH SECTION LINE, 594.12 FEET; THENCE N.00°-55'-47"W, PARALLEL WITH SAID EAST SECTION LINE, 132.00 FEET; THENCE N.89°-42'-08"E, PARALLEL WITH SAID NORTH SECTION LINE, 34.00 FEET; THENCE N.00°-55'-47"W, PARALLEL WITH SAID EAST SECTION LINE, 182.00 FEET TO A POINT ON THE NORTH LINE OF SAID SECTION 20; THENCE N.89°-42'-08"E, ON AND ALONG THE NORTH LINE OF SAID SECTION, 685.44 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 25.55 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ALL EASEMENTS AND RESTRICTION OF RECORD.

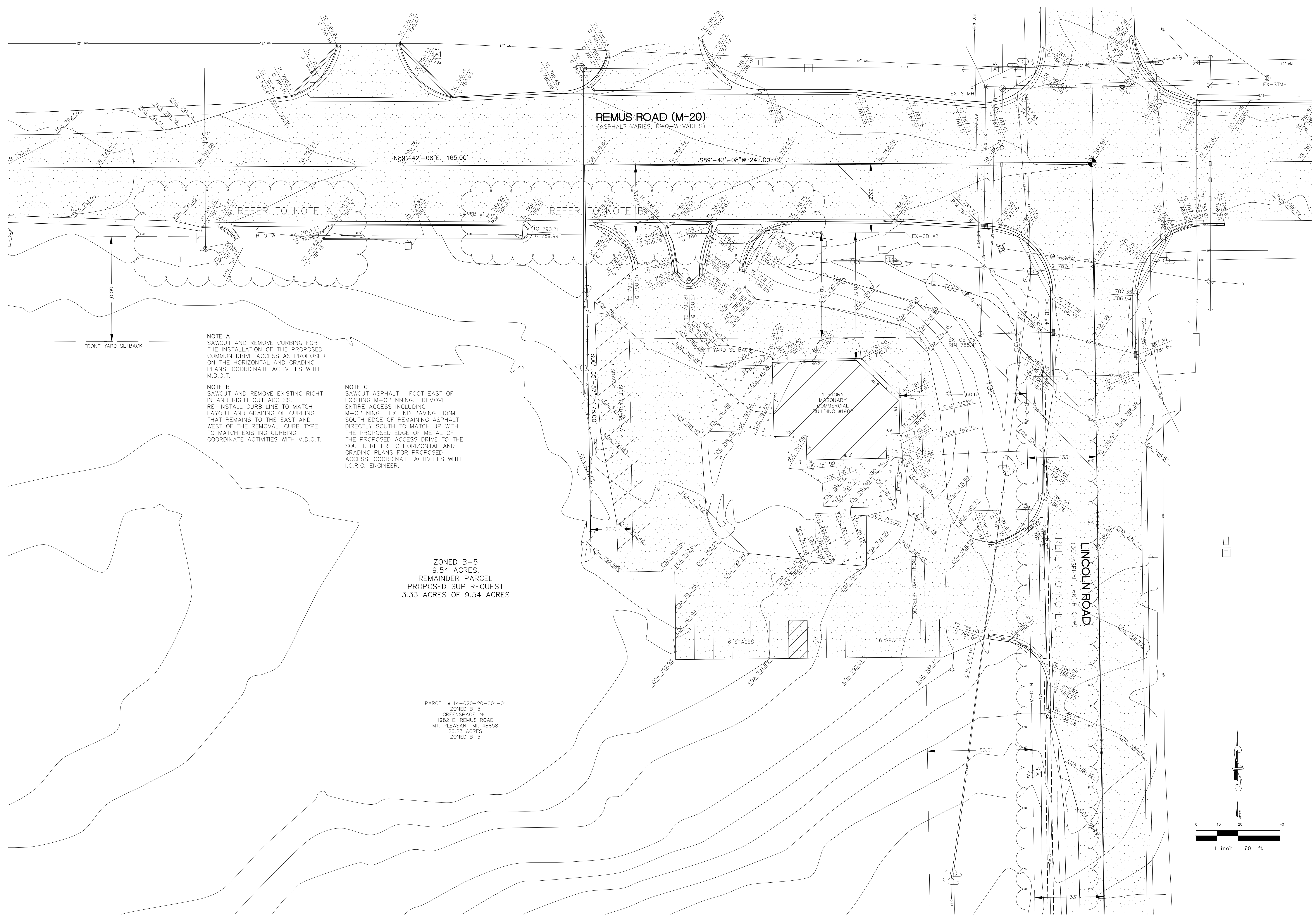
PARCEL B
 A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-42'-08"W, ON AND ALONG THE NORTH LINE OF SAID SECTION, 635.56 FEET; THENCE S.00°-55'-47"E, PARALLEL WITH THE EAST LINE OF SAID SECTION, 700.00 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.01°-03'-59"E, ON A PREVIOUSLY SURVEYED AND MONUMENTED LINE, 681.74 FEET; THENCE N.89°-05'-54"E, ON A PREVIOUSLY SURVEYED AND MONUMENTED LINE, 633.42 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 20; THENCE S.00°-55'-47"E, ON AND ALONG SAID EAST SECTION LINE, 406.35 FEET; THENCE S.89°-30°-03"W, 1333.25 FEET TO A POINT ON THE EAST 1/8 LINE OF SAID SECTION; THENCE N.00°-39'-12"W, ON AND ALONG SAID EAST 1/8 LINE, 663.67 FEET TO THE INTERIOR 1/8 CORNER OF THE NORTHEAST 1/4 OF SAID SECTION 20; THENCE CONTINUING N.00°-39'-12"W, ON AND ALONG SAID EAST 1/8 LINE, 662.35 FEET; THENCE N.89°-42'-08"E, PARALLEL WITH THE NORTH LINE OF SAID SECTION, 691.53 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 26.40 ACRES OF LAND AND BEING SUBJECT TO AND TOGETHER WITH ALL EASEMENTS AND RESTRICTIONS OF RECORD.

PARCEL C
 A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-42'-08"W, ON AND ALONG THE NORTH LINE OF SAID SECTION, 635.56 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE N.89°-42'-08"E, ON AND ALONG SAID NORTH SECTION LINE, 260.69 FEET; THENCE S.00°-30'-00"E, 387.76 FEET; THENCE S.88°-55'-18"W, 257.76 FEET; THENCE N.00°-55'-47"W, PARALLEL WITH THE EAST LINE OF SAID SECTION, 391.29 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 2.32 ACRES OF LAND AND BEING SUBJECT TO AND TOGETHER WITH ANY EASEMENTS AND RESTRICTIONS OF RECORD.

PARCEL D
 A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-42'-08"W, ON AND ALONG THE NORTH LINE OF SAID SECTION, 635.56 FEET; THENCE S.00°-55'-47"E, PARALLEL WITH THE EAST LINE OF SAID SECTION, 391.29 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE N.88°-55'-18"E, 635.52 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 20 THAT IS 382.63 FEET, S.00°-55'-47"E, OF THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.00°-55'-47"E, ON AND ALONG THE EAST LINE OF SAID SECTION, 317.37 FEET; THENCE S.89°-42'-08"W, PARALLEL WITH SAID NORTH SECTION LINE, 635.56 FEET; THENCE N.00°-55'-47"W, PARALLEL WITH SAID EAST SECTION LINE, 308.71 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 4.57 ACRES OF LAND AND BEING SUBJECT TO AND TOGETHER WITH ANY EASEMENT AND RESTRICTIONS OF RECORD.

PARCEL E
 A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-42'-08"W, ON AND ALONG THE NORTH LINE OF SAID SECTION, 635.56 FEET; THENCE S.00°-55'-47"E, PARALLEL WITH THE EAST LINE OF SAID SECTION, 391.29 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE N.88°-55'-18"E, 635.52 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 20 THAT IS 382.63 FEET, S.00°-55'-47"E, OF THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.00°-55'-47"E, ON AND ALONG THE EAST LINE OF SAID SECTION, 317.37 FEET; THENCE S.89°-42'-08"W, PARALLEL WITH SAID NORTH SECTION LINE, 635.56 FEET; THENCE N.00°-55'-47"W, PARALLEL WITH SAID EAST SECTION LINE, 308.71 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 4.57 ACRES OF LAND AND BEING SUBJECT TO AND TOGETHER WITH ANY EASEMENT AND RESTRICTIONS OF RECORD.





NOTE A
SAWCUT AND REMOVE CURBING FOR THE INSTALLATION OF THE PROPOSED COMMON DRIVE ACCESS AS PROPOSED ON THE HORIZONTAL AND GRADING PLANS. COORDINATE ACTIVITIES WITH M.D.O.T.

NOTE B
SAWCUT AND REMOVE EXISTING RIGHT IN AND RIGHT OUT ACCESS. RE-INSTALL CURB LINE TO MATCH LAYOUT AND GRADING OF CURBING THAT REMAINS TO THE EAST AND WEST OF THE REMOVAL. CURB TYPE TO MATCH EXISTING CURBING. COORDINATE ACTIVITIES WITH M.D.O.T.

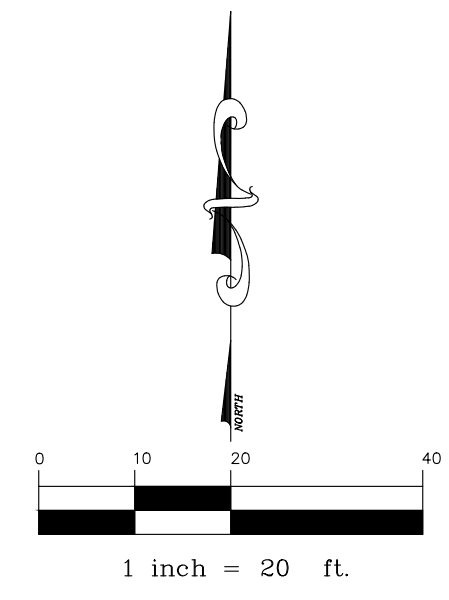
NOTE C
SAWCUT ASPHALT 1 FOOT EAST OF EXISTING M-OPENING. REMOVE ENTIRE ACCESS INCLUDING M-OPENING. EXTEND PAVING FROM SOUTH EDGE OF REMAINING ASPHALT DIRECTLY SOUTH TO MATCH UP WITH THE PROPOSED EDGE OF METAL OF THE PROPOSED ACCESS DRIVE TO THE SOUTH. REFER TO HORIZONTAL AND GRADING PLANS FOR PROPOSED ACCESS. COORDINATE ACTIVITIES WITH I.C.R.C. ENGINEER.

ZONED B-5
9.54 ACRES.
REMAINDER PARCEL
PROPOSED SUP REQUEST
3.33 ACRES OF 9.54 ACRES


PARCEL # 14-020-20-001-01
ZONED B-5
GREENSPACE INC.
1982 E. REMUS ROAD
MT. PLEASANT MI, 48858
26.23 ACRES
ZONED B-5

REMUS ROAD (M-20)
(ASPHALT VARIES, R-O-W VARIES)

LINCOLN ROAD
(30' ASPHALT, 66' R-O-W)

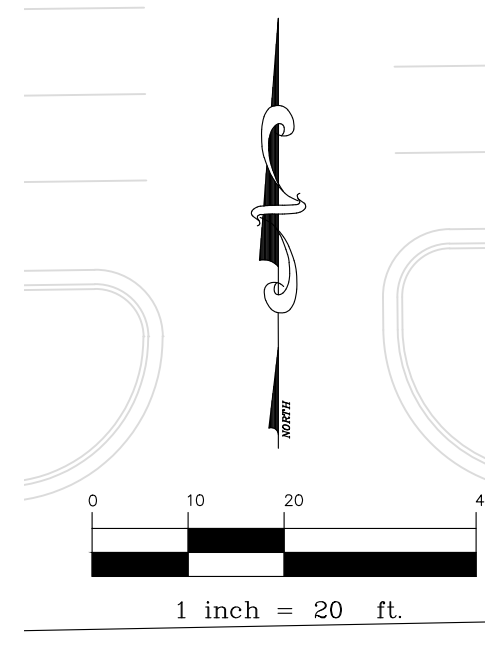
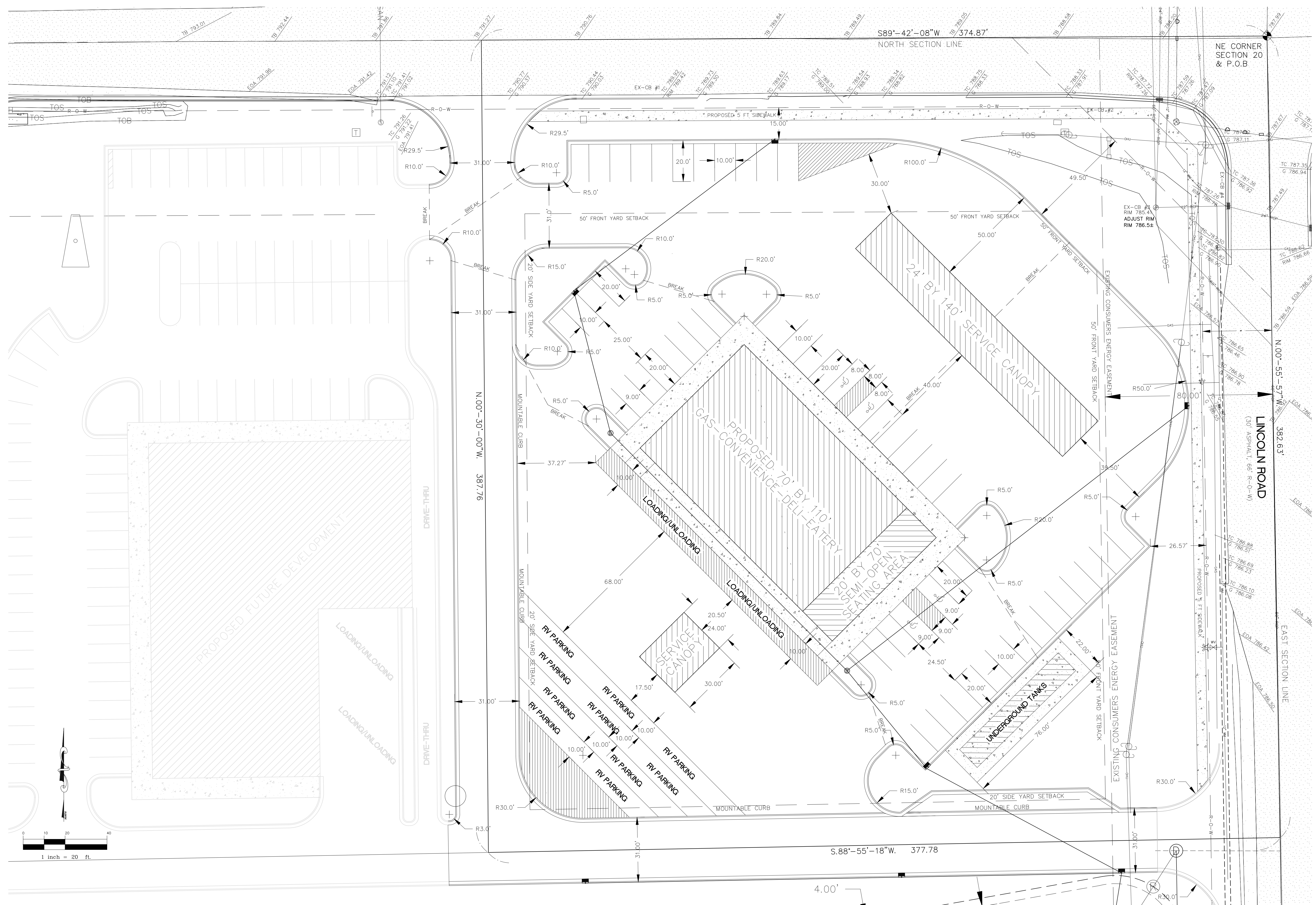


CMS & D
SURVEYING/ENGINEERING
2257 EAST BROOMFIELD ROAD
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com



EXISTING TOPOGRAPHIC SURVEY
MITCHELL'S & MCGUIRK MINI-STORAGE, INC.
PART OF THE NORTHEAST 1/4
SECTION 20, T14N-R4W
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

SCALE	1" = 20'
JOB NUMBER:	1902-014
DRAWN BY:	WRE/TELB
DESIGNED BY:	NA
CHECKED BY:	TELB
SUBMITTALS:	SUBMITTAL TO TWP PLANNING COM. 6-04-19 RE-SUBMITTAL TO TWP PLANNING COM. 6-13-19
REVISIONS:	REVISIONS PER M.D.O.T., I.C.R.C. & I.C.D.C.



PROPOSED STORM STRUCTURES

D-STR#1
 PROP. 4' DIA. C.B.
 E.J.I.W. 7045 W/TYPE M-2 GRATE
 TC 789.20
 RIM 788.70
 SW INV. 785.0 (12" N-12)

D-STR#2
 PROP. 4' DIA. C.B./M.H.
 E.J.I.W. 7045 W/TYPE M-2 GRATE
 TC 790.75
 RIM: 790.25
 NE INV. 784.64 (12" N-12)
 S INV. 784.54 (12" N-12)

D-STR#3
 PROP. 4' DIA. MANHOLE
 E.J.I.W. 1040 W/ SOLID LID
 RIM: 789.25
 SE INV. 784.13 (15" N-12)
 N INV. 784.33 (12" N-12)

D-STR#4
 PROP. 4' DIA. MANHOLE
 E.J.I.W. 1040 W/ SOLID LID
 RIM: 790.15
 SW INV. 783.65 (15" N-12)
 NE INV. 783.75 (12" N-12)
 SE INV. 783.45 (18" N-12)

D-STR#5
 PROP. 4' DIA. C.B./M.H.
 E.J.I.W. 7045 W/TYPE M-2 GRATE
 TC 790.65
 RIM: 790.15
 NW INV. 783.30 (18" N-12)
 SE INV. 781.32 (18" N-12)

D-STM#6
 PROP. 4' DIA. CB/MH
 E.J.I.W. 7045 W/ TYPE M2 GRATE
 TC 786.75
 RIM 786.25
 NW INV. 781.0 (18" N-12)
 W INV 783.25 (15" N-12)
 S INV. 780.70 (24" N-12)

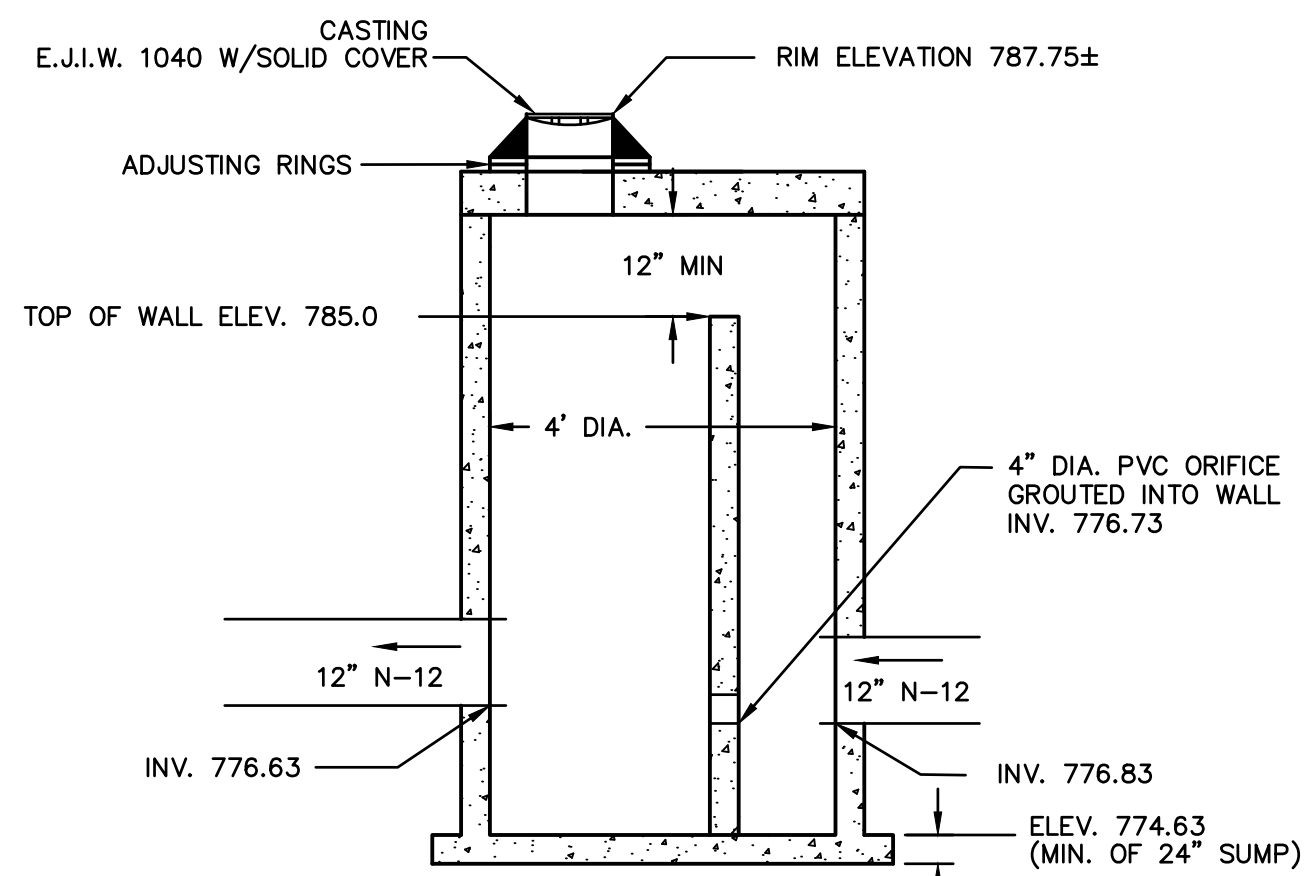
D-STM#7
 PROP. 4' DIA. CB/MH
 E.J.I.W. 7045 W/ TYPE M2 GRATE
 TC 789.50
 RIM 789.00
 SW INV. 784.37 (12" N-12)

D-STM#8
 PROP. 4' DIA. CB/MH
 E.J.I.W. 7045 W/ TYPE M2 GRATE
 TC 789.25
 RIM 788.75
 E INV. 783.75 (15" N-12)
 W INV. 783.85 (15" N-12)

D-STM#9
 PROP. 4' DIA. CATCH BASIN
 E.J.I.W. 7045 W/ M-2 GRATE
 TOP OF CURB: 790.00
 RIM: 789.50
 E INV. 784.25 (15" N-12)
 N INV. 784.45 (12" N-12)

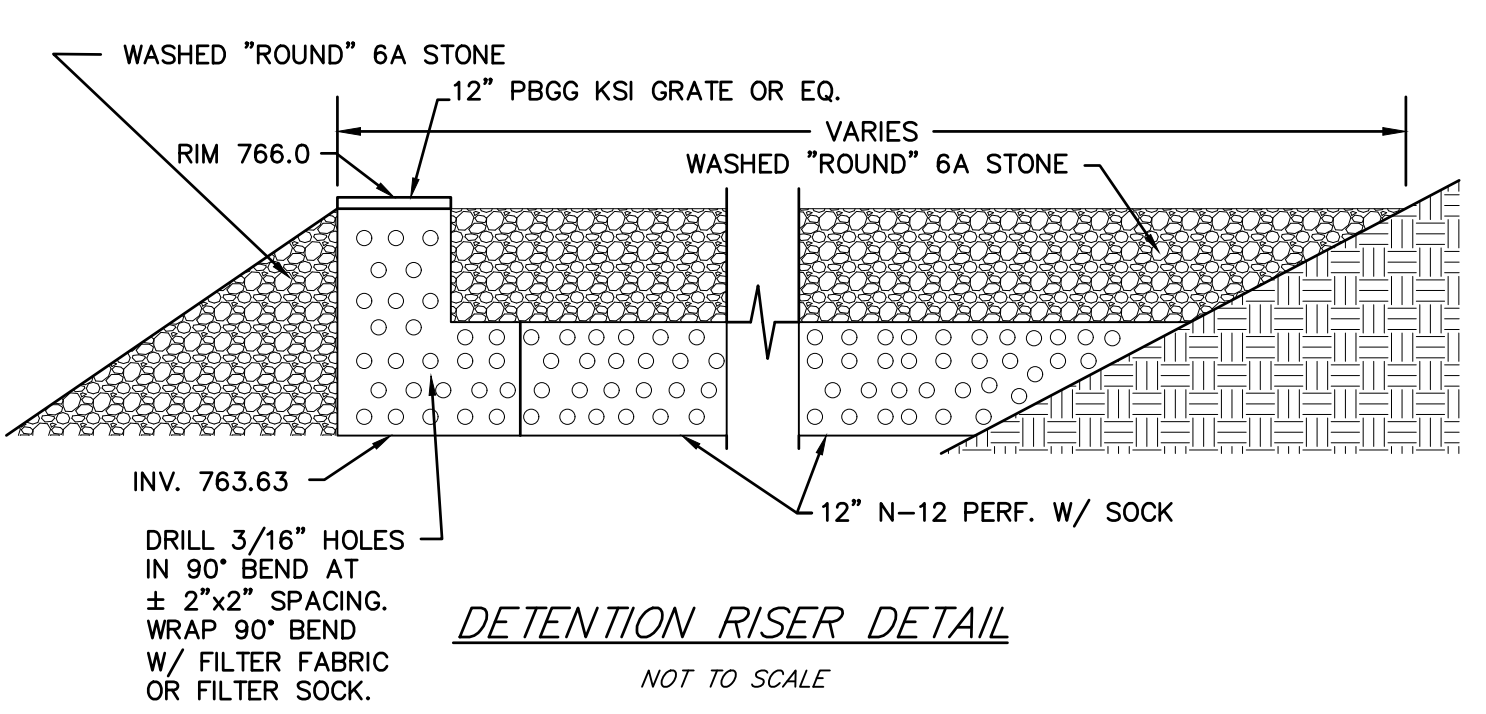
NOTE: ALL STRUCTURES HAVE 2' SUMPS.

NOTE: ALL STRUCTURES HAVE 2' SUMPS.



4' DIA. STORM WATER OVERFLOW STRUCTURE
 NOT TO SCALE

- BAFFLE WALL CONSTRUCTION NOTES**
- Baffle wall to be constructed of 8" concrete block with smooth-raked joints.
 - Epoxy #4 reinforcing bars into the sidewalls and base of the precast structure at 8" spacing. Bars are to extend across the entire width of the structure.
 - Place #4 reinforcing bars in the baffle wall vertically at 12" spacings. The vertical bars to horizontal bars.
 - Grout-fill all concrete block.
 - Coat entire baffle wall with Xypex waterproofing or approved equal.



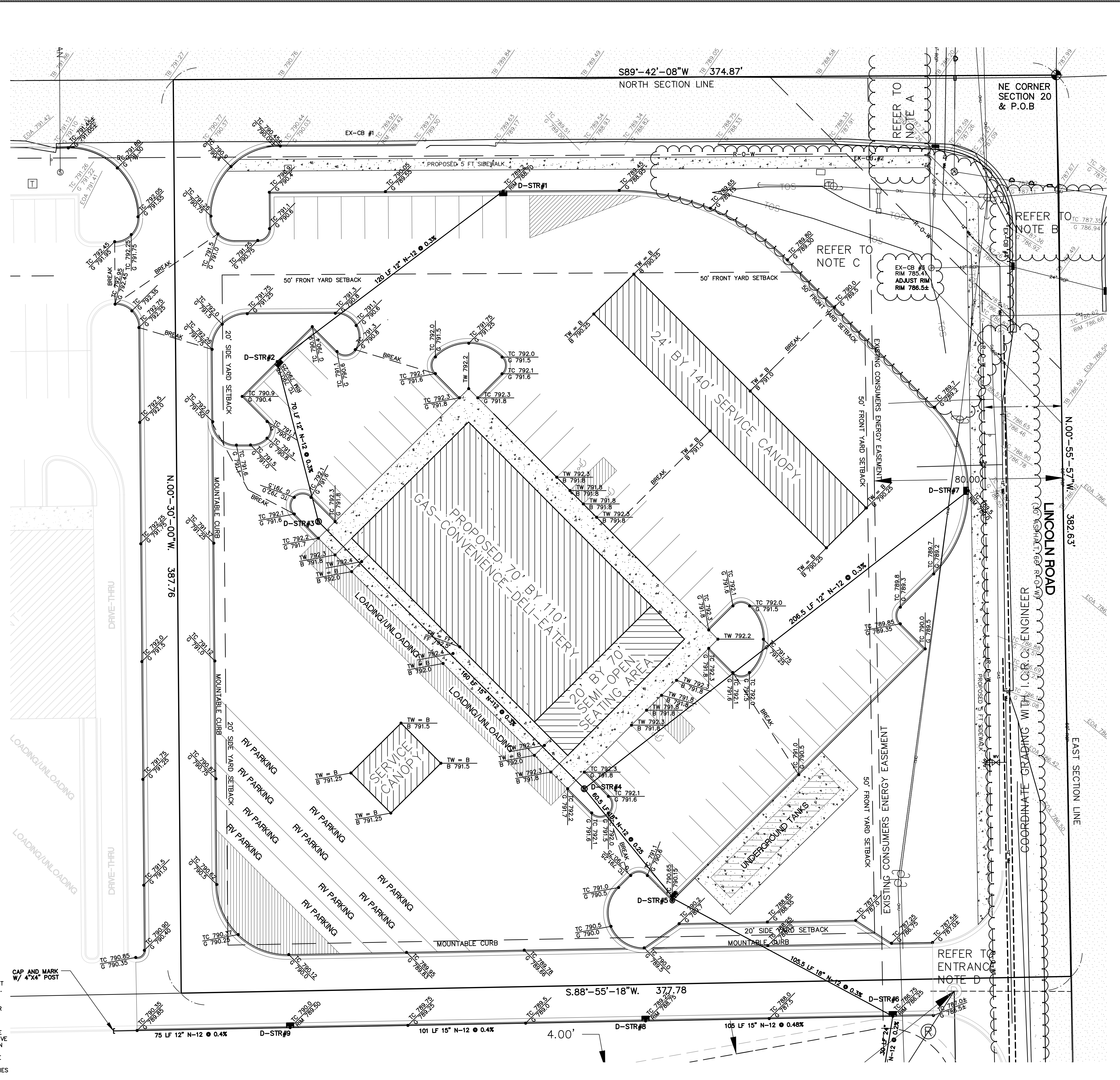
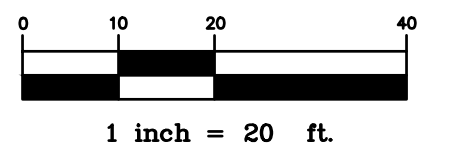
DETENTION RISER DETAIL
 NOT TO SCALE

NOTE A
 BASED ON COMMENTS FROM M.D.O.T. RELATED TO THE PLACEMENT OF THE SIDEWALK AND REMUS ROAD (M-20) CROSS-WALK. THE SIDEWALK WILL BE EXTENDED AS NOW SHOWN AND THE CROSS-WALK AND RAMP WILL NEED TO BE INSTALLED IN ALIGNMENT WITH THE CROSS-WALK BEING PROPOSED FOR MCDONALD'S. THE LOCATION OF THE CROSS-WALK FOR MCDONALD'S HAS NOT YET BEEN FINALIZED. ONCE COMPLETED, THE PROPOSED CROSS-WALK FOR THIS DEVELOPMENT MUST BE IN ALIGNMENT.

NOTE B
 BASED ON COMMENTS FROM I.C.R.C. RELATED TO THE PLACEMENT OF THE SIDEWALK ALONG LINCOLN ROAD. THE SIDEWALK WILL BE EXTENDED AS NOW SHOWN. I.C.R.C. DOES NOT WANT A CROSS-WALK SHOWN AT LINCOLN ROAD. THE LOCATION OF THE CROSS-WALK WILL BE DEPENDANT ON THE NEW PROPOSED INTERSECTION DESIGN, WHICH HAS NOT YET BEEN COMPLETED. I.C.R.C. STATED THAT THEY WILL INSTALL THE CROSS-WALK AS PART OF THEIR PROJECT.

NOTE C
 BASED ON COMMENTS FROM I.C.R.C. RELATED TO THE GRADING OF THE CORNER. THE EXISTING MANHOLE SHALL BE RAISED APPROXIMATELY 1 FOOT TO LESSEN THE GRADES, WHILE STILL PROVIDING DRAINAGE FOR THE AREA. THE AREA IS TO BE RE-GRADE FROM THE PROPOSED SIDEWALK TO THE ADJUSTED MANHOLE AND FROM THE PROPOSED CURB LINES TO THE ADJUSTED CURB LINE. THIS LESSENING OF SLOPE WILL ALLOW FOR EASIER MAINTENANCE AS SAFETY FOR PEDESTRIANS.

NOTE D
 BASED ON COMMENTS FROM I.C.R.C. RELATED TO THE ENTRANCE DRIE, THE PROPOSED CURB RAPS WILL NOT BE INSTALLED AS THE FINAL GRADES HAVE NOT BEEN DETERMINED FOR THE PROPOSED RE-CONSTRUCTION OF LINCOLN ROAD. I.C.R.C. WILL INCLUDE THIS WORK IN THEIR PROJECT. THE DEVELOPER SHALL INSTALL ASPHALT ROADWAY FROM THE PROPOSED EDGE OF METAL OF THE PROPOSED NORTHERN RAP TO THE NORTH TO MATCH INTO THE EXISTING ASPHALT APRON TO THE NORTH. COORDINATE ACTIVITIES WITH I.C.R.C. ENGINEER.



CMS & D
 SURVEYING / ENGINEERING
 2257 EAST BROOMFIELD ROAD
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@cms-d.com

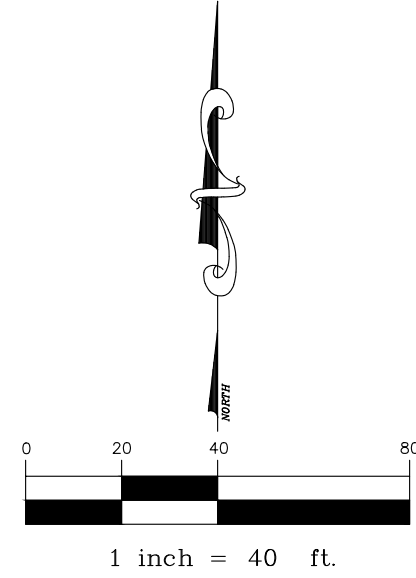
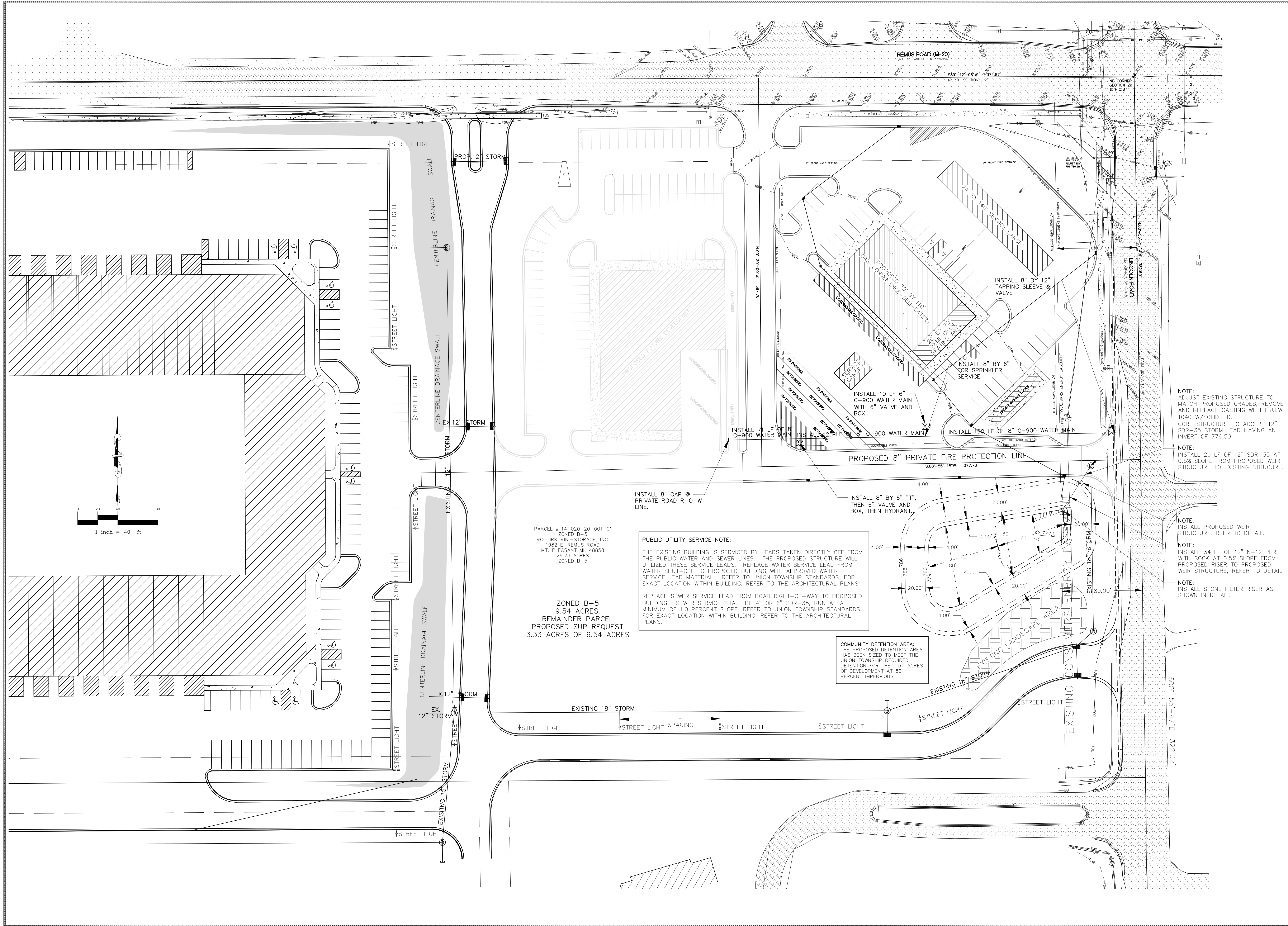
GRADING PLAN
 MITCHELL'S & MCGUIRK MINI-STORAGE
 PART OF THE NORTHEAST 1/4
 SECTION 20, T14N-R4W
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:
 REVISIONS PER M.D.O.T., I.C.R.C. & I.C.D.C.

JOB NUMBER: 1902-014	SUBMITTAL TO TWP PLANNING COM. 6-04-19
DRAWN BY: WRE/TELB	RE-SUBMITTAL TO TWP PLANNING COM. 6-13-19
DESIGNED BY: TELB	
CHECKED BY: TELB	

SCALE
 1" = 20'

SHEET NUMBER
 6 OF 7



PARCEL # 14-020-20-001-01
 ZONED B-5
 MCGUIRK MINI-STORAGE, INC.
 1982 E. REMUS ROAD
 MT. PLEASANT MI, 48858
 26.23 ACRES
 ZONED B-5

ZONED B-5
 9.54 ACRES.
 REMAINDER PARCEL
 PROPOSED SUP REQUEST
 3.33 ACRES OF 9.54 ACRES

PUBLIC UTILITY SERVICE NOTE:
 THE EXISTING BUILDING IS SERVICED BY LEADS TAKEN DIRECTLY OFF FROM THE PUBLIC WATER AND SEWER LINES. THE PROPOSED STRUCTURE WILL UTILIZE THESE SERVICE LEADS. REPLACE WATER SERVICE LEAD FROM WATER SHUT-OFF TO PROPOSED BUILDING WITH APPROVED WATER SERVICE LEAD MATERIAL. REFER TO UNION TOWNSHIP STANDARDS. FOR EXACT LOCATION WITHIN BUILDING, REFER TO THE ARCHITECTURAL PLANS.
 REPLACE SEWER SERVICE LEAD FROM ROAD RIGHT-OF-WAY TO PROPOSED BUILDING. SEWER SERVICE SHALL BE 4" OR 6" SDR-35, RUN AT A MINIMUM OF 1.0 PERCENT SLOPE. REFER TO UNION TOWNSHIP STANDARDS. FOR EXACT LOCATION WITHIN BUILDING, REFER TO THE ARCHITECTURAL PLANS.

COMMUNITY DETENTION AREA:
 THE PROPOSED DETENTION AREA HAS BEEN SIZED TO MEET THE UNION TOWNSHIP REQUIRED DETENTION FOR THE 9.54 ACRES OF DEVELOPMENT AT 80 PERCENT IMPERVIOUS.

NOTE:
 ADJUST EXISTING STRUCTURE TO MATCH PROPOSED GRADES; REMOVE AND REPLACE CASTING WITH E.J.I.W. 1040 W/SOLID LID. CORE STRUCTURE TO ACCEPT 12" SDR-35 STORM LEAD HAVING AN INVERT OF 776.50

NOTE:
 INSTALL 20 LF OF 12" SDR-35 AT 0.5% SLOPE FROM PROPOSED WEIR STRUCTURE TO EXISTING STRUCTURE.

NOTE:
 INSTALL PROPOSED WEIR STRUCTURE. REFER TO DETAIL.

NOTE:
 INSTALL 34 LF OF 12" N-12 PERF WITH SOCK AT 0.5% SLOPE FROM PROPOSED RISER TO PROPOSED WEIR STRUCTURE. REFER TO DETAIL.

NOTE:
 INSTALL STONE FILTER RISER AS SHOWN IN DETAIL.

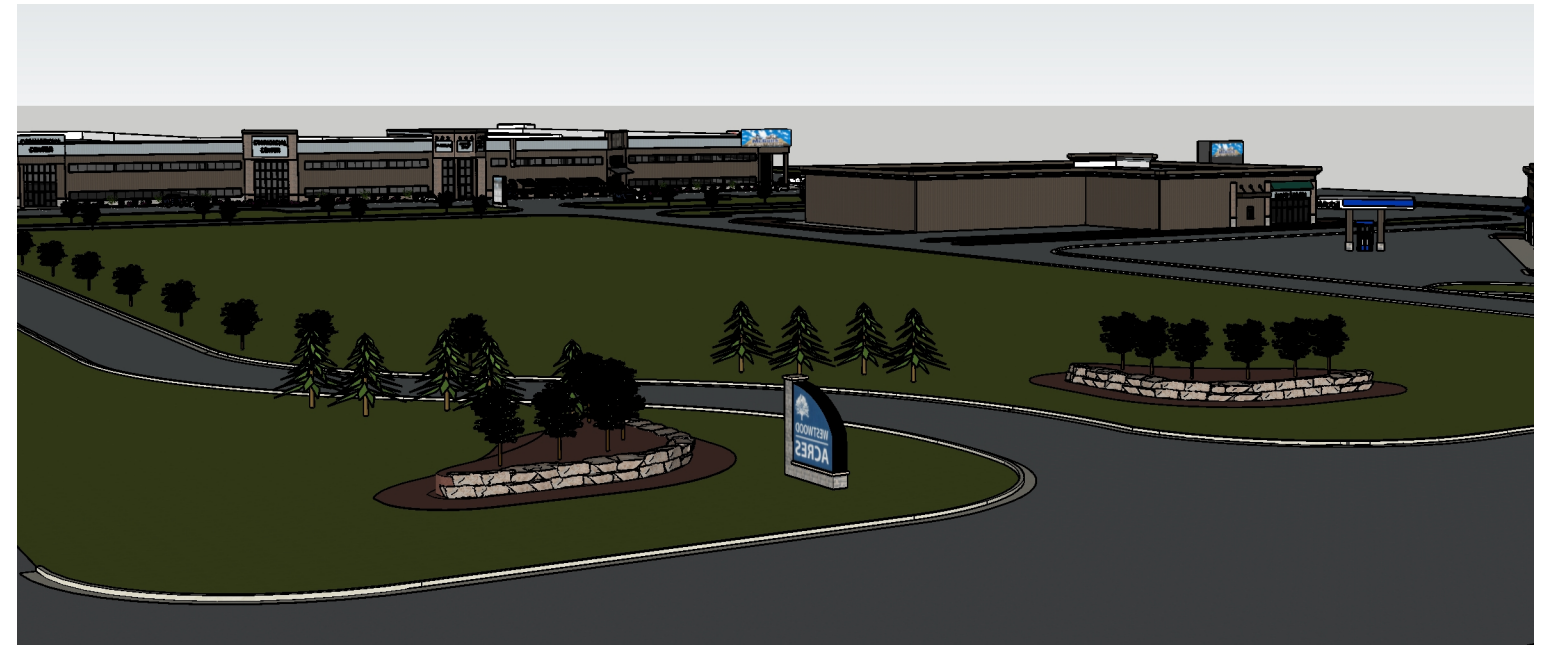
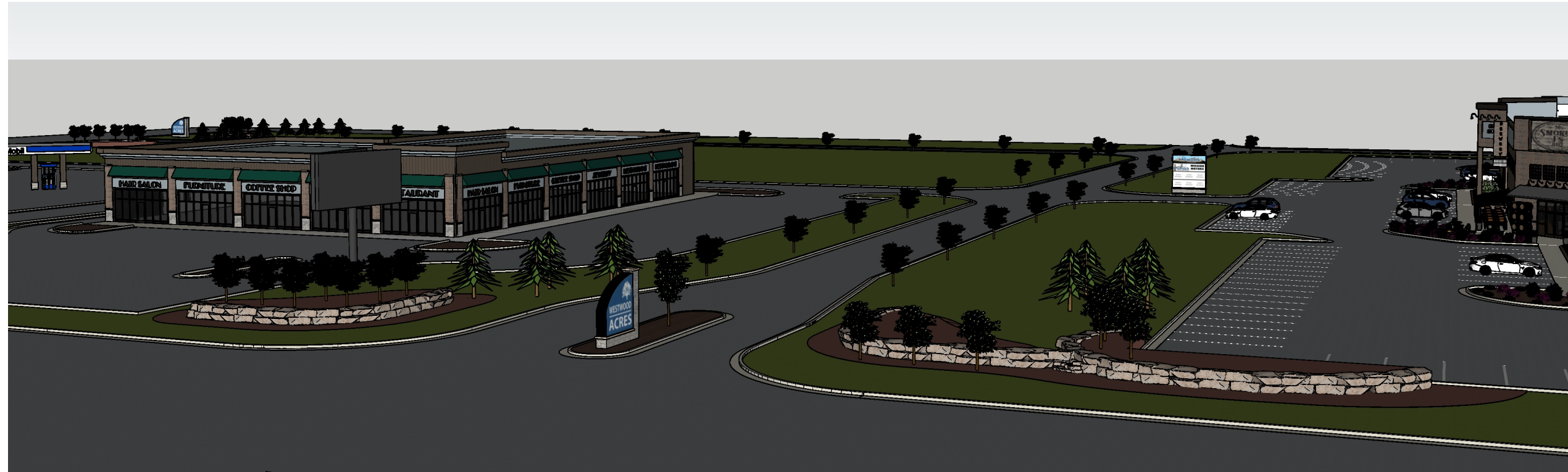


REVISIONS:
 REVISIONS PER M.D.O.T., I.C.R.C. & I.C.D.C.

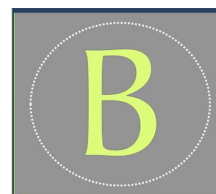
SUBMITTALS:
 SUBMITTAL TO TWP PLANNING COM. 6-04-19
 RE-SUBMITTAL TO TWP PLANNING COM. 6-13-19

JOB NUMBER:
 1902-014
 DRAWN BY:
 WRE/TELB
 DESIGNED BY:
 TELB
 CHECKED BY:
 TELB

SCALE
 1" = 40'
 SHEET NUMBER
 7 OF 7



SCHEMATIC 3D VIEWS - LANDSCAPE



B-Squared Design Studio **PROOF**

Brenda Skeel, AIA • brenda@b-squaredstudio.com • (989) 560 - 0986 • 104 East Maple Street - Shepherd, MI 48883

Drawings and documents contained in this package are schematic and for planning purposes only, they do not constitute complete architectural services. Drawings are not suitable or developed for construction.

Chuck McGuirk
 McGuirk Sand and Gravel
 3046 Jens Way
 Mt. Pleasant, MI 48858
 April 24, 2019

playbook
 page 4



SCHEMATIC 3D VIEW



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Brenda Skeel, AIA • brenda@b-squaredstudio.com • (989) 560 - 0986 • 104 East Maple Street - Shepherd, MI 48883

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Chuck McGuirk
 McGuirk Sand and Gravel
 3046 Jens Way
 Mt. Pleasant, MI 48858
 April 30, 2019

playbook
 page



SCHEMATIC 3D VIEW



B-Squared Design Studio **PROOF**

Brenda Skeel, AIA • brenda@b-squaredstudio.com • (989) 560 - 0986 • 104 East Maple Street - Shepherd, MI 48883

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Chuck McGuirk
McGuirk Sand and Gravel
3046 Jens Way
Mt. Pleasant, MI 48858
April 30, 2019

playbook
page
6



Peter Gallinat, Township Planner
pgallinat@uniontownshipmi.com
2010 South Lincoln
Mt. Pleasant, MI 48858
Phone 989-772-4600 Ext. 241
Fax 989-773-1988

TO: Planning Commission
FROM: Township Planner

New Business

SUBJECT: (E)SUP 2018-03 Reconsideration of Bank with a drive thru

Applicant: Mercantile Bank

Owner: Mercantile Bank

Location: 2000 Parkland Dr. Central Parkway. MT PLEASANT, MI 48858

Current Zoning: OS (Office District)

Adjacent Zoning: OS Residential across Rd. (City of Mt. Pleasant)

Future Land Use/Intent: Neighborhood Service: Located primarily along corridors adjoining lower intensity land uses, the intent of this district is to limit future retail and focus on small-scale personal service and office uses. This district accommodates shallow lots, providing a good buffer and transition to residential uses and limiting heavy commercial and general retail uses so they can be focused on other areas of the township. Rear yards adjoining residential areas should be well-screened to limit impacts of higher intensity uses. These areas should be accessible and comfortable for the pedestrian and should create a sense of place along the roadway.

Current Use: Vacant property

Reason for Request: Reconsider and or void drive thru special use.

History: The Planning Commission approved site plan SPR 2018-06 on June 19, 2018. This site plan was approved along with SUP 2018-03 for a bank with a drive thru. The proposed building will no longer be a 2-story structure. The applicant has also proposed to remove the drive thru. The reduction of the building height can be administratively approved but the reconsideration of the special use can only be done by the Planning Commission. Outside agencies have been sent the revised plan to ensure that the proposed changes do affect their previous approval for the original site plan

Objective of board: Reconsider and or void SUP 2018-03 as shown on amended site plan.

Recommendation from Township Planner

I would recommended voiding SUP 2018-03. The applicant has removed the use from their amended site plan. If in the future a drive thru is reconsidered the SUP for a drive thru should be reconsidered at that time as well.

Peter Gallinat
Township Planner

Mercantile Bank

2000 Parkland Drive
Mt. Pleasant, Charter Township of Union, MI

Issued for Site Plan Approval June 3, 2019
Project Number 180560



Fishbeck, Thompson, Carr & Huber, Inc.

Engineers • Scientists • Architects • Constructors
1515 Arboretum Drive, Grand Rapids, Michigan 49546
(800) 456-3824 www.ftch.com

GENERAL

G001 COVER

CIVIL

- C101 SITE SURVEY PLAN
- C102 DEMOLITION & SESC PLAN
- C201 SITE LAYOUT PLAN
- C301 SITE GRADING PLAN
- C302 ENLARGED GRADING PLAN
- C401 SITE UTILITY PLAN
- C402 UTILITY PROFILES
- C501 DETAILS
- C502 DETAILS

ELECTRICAL

E101 SITE LIGHTING PHOTOMETRIC PLAN

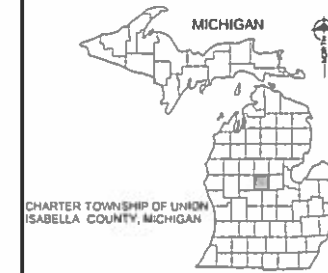
LANDSCAPE

L101 LANDSCAPE PLAN

LOCATION MAP



VICINITY MAP



CHARTER TOWNSHIP OF UNION
ISABELLA COUNTY, MICHIGAN

UTILITY INFORMATION

THE EXISTING UTILITIES SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN LOCATED FROM UTILITY RECORD DRAWINGS. ACTUAL UTILITY LOCATIONS MAY VARY FROM WHAT IS SHOWN. ALL UTILITIES TO BE FIELD VERIFIED BY UTILITY OWNER PRIOR TO CONSTRUCTION.

ZONING:

Charter Township Of Union
Mr. Peter Galknot
Zoning Administrator
2010 S. Lincoln Road
Mt. Pleasant, MI 48858
Phone: 989.772.4600 Ext.241
Fax: 989.773.1988
Email: pgalnot@uniontownshipmi.com

BUILDING PERMITS:

Charter Township Of Union
Mr. Randy Robinson
Building Official
2010 S. Lincoln Road
Mt. Pleasant, MI 48858
Phone: 989.772.4600 Ext.227
Fax: 989.773.1988
Email: rrobinson@uniontownshipmi.com

UTILITIES:

Charter Township Of Union
Kim Smith
Public Works Coordinator
2010 S. Lincoln Road
Mt. Pleasant, MI 48858
Phone: 989.772.4600 Ext.224
Fax: 989.773.1988
Email: ksmith@uniontownshipmi.com

STORMWATER:

Isabella County Drain Commissioner
Mr. Bruce Rotner, PE
200 N. Main St. Room 140
Mt. Pleasant, MI 48858
Phone: 989.772.0911 Ext. 231
Fax: 989.773.7431

TRANSPORTATION COMMISSION:

Isabella County Transportation Commission
Mr. Rick Collins
2100 E. Transportation Dr.
Mt. Pleasant, MI 48858
Phone: 989.772.9441

ROAD COMMISSION:

Isabella County Road Commission
2261 E. Ramus Road
Mt. Pleasant, MI 48858
Phone: 989.773.7131
Fax: 989.775.6329

FIRE:

Mt. Pleasant Fire Department
Sgt. Randy Keeler
804 E. High St.
Mt. Pleasant, MI 48858
Phone: 989.779.5122
Fax: 989.773.4020
Email: rkeeler@mt-pleasant.org

ARCHITECT:

Ghafari Associates
89 Monroe Center Street NW, Suite 400
Grand Rapids, MI 49503
James Ramey, AIA
Phone: 616.771.0909 Ext. 7804
jramey@ghafan.com

CIVIL ENGINEER:

FTC&H
1515 Arboretum Drive SE
Grand Rapids, MI 49546
Nathan T. Torrey, PE
Phone: 816.464.3785
ntorrey@ftch.com

LANDSCAPE ARCHITECT:

Designscapes
7357 40th Ave
Hudsonville, MI 49426
Joyce W. Weiss, P.L.A., ASLA
Phone: 616.669.8004
Fax: 616.437.4857
jweiss@comcast.net

SEAL



engineers
scientists
architects
constructors

Mercantile Bank
Mount Pleasant, Charter Township of Union, Michigan
2000 Parkland Drive

REVISIONS

6/2/2019 [SITE PLAN APPROVAL]

Drawn By: AHD
Designer: WMB
Reviewer: HMB
Manager: HMT

Hard copy is intended to be 24"x36" when plotted. Scale(s) indicated and graphic quality may not be accurate for any other size.

PROJECT NO.
180560

SHEET NO.

G001



engineers
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architects
constructors

Mercantile Bank
Mount Pleasant, Charter Township of Union, Michigan
2000 Parkland Drive

REVISIONS

1/23/2018 SITE PLAN APPROVAL

Drawn By: JGG
Designer: WMB
Reviewer: HMB
Manager: HRT

Hard copy is intended to be 24"x36" when plotted. Scale(s) indicated and graphic quality may not be accurate for any other size.

PROJECT NO.
180560
SHEET NO.

C301

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BENCHMARKS

BENCH MARK A ELEVATION: 794.31
CHISELED BOX ON TOP OF EAST END OF 21" CONC CULVERT END SECTION, ON THE EAST SIDE OF DRIVE TO DENTIST OFFICE, NORTH SIDE OF HAWTHORNE DR.
BENCH MARK B ELEVATION: 789.76
CHISELED BOX ON NORTH SIDE OF 54" CONC LID ON CATCH BASIN STRUCTURE, NW QUAD OF PARKLAND DR. AND PICKARD RD.

LEGEND

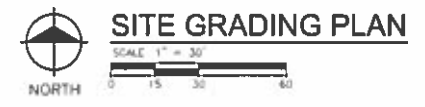
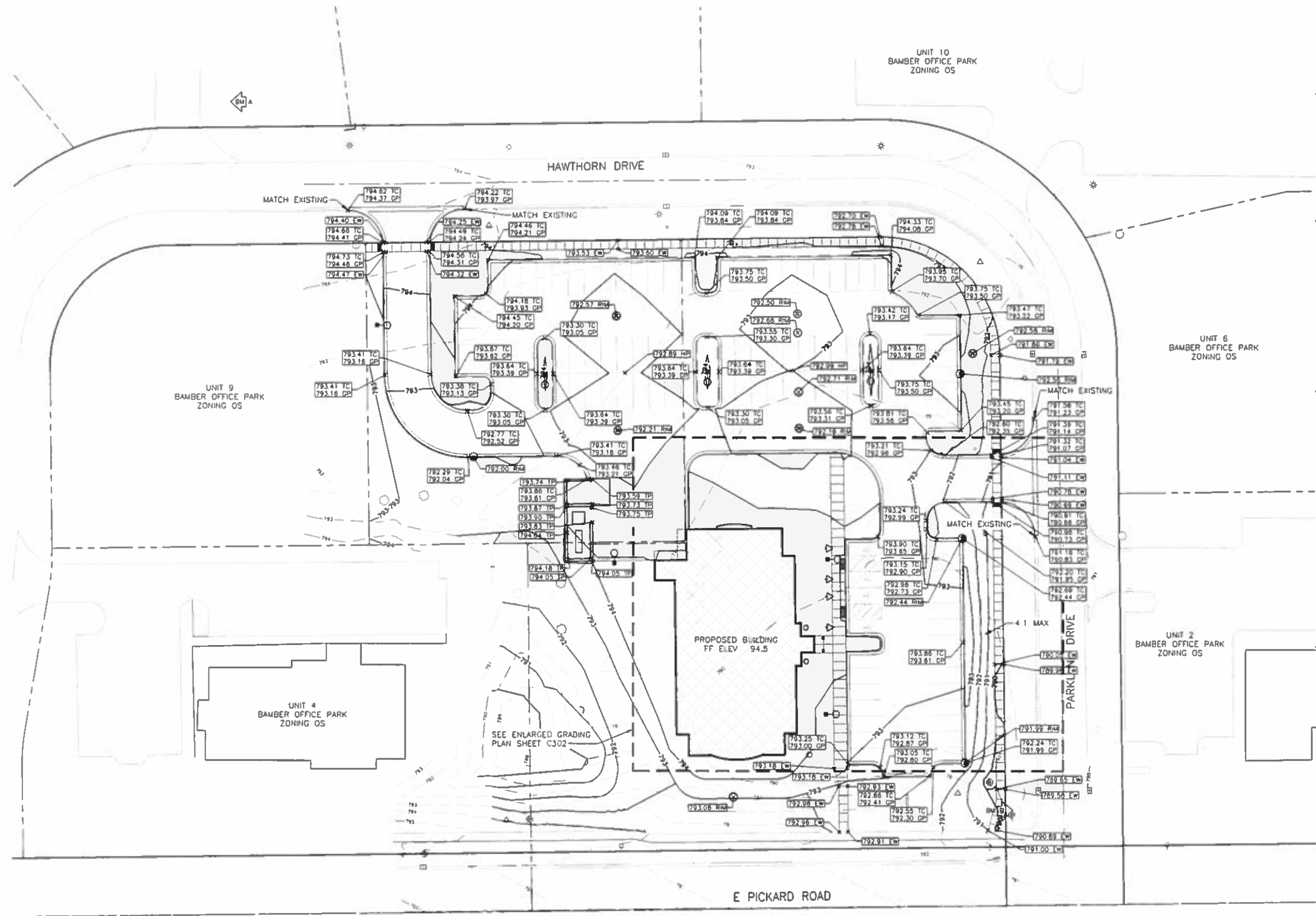
- 725 PROPOSED CONTOUR MAJOR
- 724 PROPOSED CONTOUR MINOR
- 723 EXISTING CONTOUR MAJOR
- 722 EXISTING CONTOUR MINOR

SPOT ELEVATION LEGEND

- GP SPOT ELEVATION
- GP CUTTER PAN
- TC TOP OF CURB
- TP TOP OF PAVEMENT
- GR GRADE ELEVATION
- TW TOP OF WALL
- EW EDGE OF WALK
- FF FINISH FLOOR
- EM EDGE OF METAL
- LP LOW POINT
- HP HIGH POINT

NOTES

1. FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO MATCH EDGE OF PAVEMENT.
2. STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
3. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
4. GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
5. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
6. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.



PLT: 2/13/18 11:56:56 AM LAYOUT: C301 DATE: 6/3/2019 TIME: 2:42:54 PM USER: WMB



engineers
scientists
architects
constructors

HARRIS ENGINEERING, LLC & PARTNERS
www.fitch.com

Mercantile Bank
Mount Pleasant, Charter Township of Union, Michigan
2000 Parkland Drive

REVISIONS

03/2018 SITE PLAN APPROVAL

Drawn By: ADO
Designer: WMB
Reviewer: HMB
Manager: HRT

Hard copy is intended to be 24"x36" when plotted. Scale(s) indicated and graphic quality may not be accurate for any other size.

PROJECT NO.
180560

SHEET NO.

C302

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BENCHMARKS

BENCH MARK A ELEVATION: 794.31
CHISELED BOX ON TOP OF EAST END OF
21" CONCRETE CULVERT END SECTION, ON THE
EAST SIDE OF DRIVE TO DENTIST OFFICE,
NORTH SIDE OF HAWTHORNE DR.

BENCH MARK B ELEVATION: 789.76
CHISELED BOX ON NORTH SIDE OF 54"
CONCRETE LID ON CATCH BASIN STRUCTURE,
NW QUAD OF PARKLAND DR. AND PICKARD RD.

LEGEND

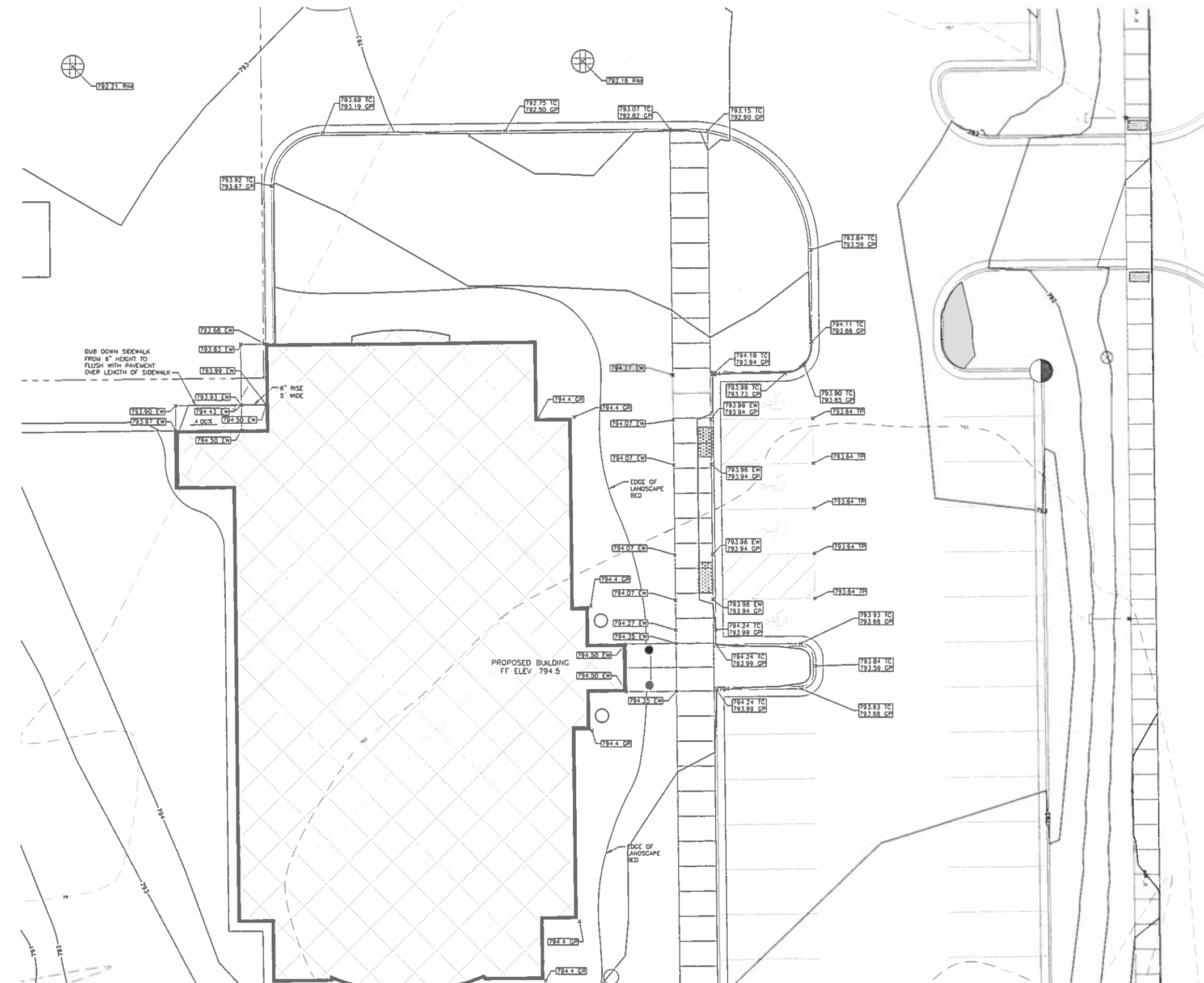
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MAJOR
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR

SPOT ELEVATION LEGEND

- SPOT ELEVATION
- GUTTER PAN
- TOP OF CURB
- TOP OF PAVEMENT
- GRADE ELEVATION
- TOP OF WALL
- EDGE OF WALK
- FINISH FLOOR
- EDGE OF METAL
- LOW POINT
- HIGH POINT

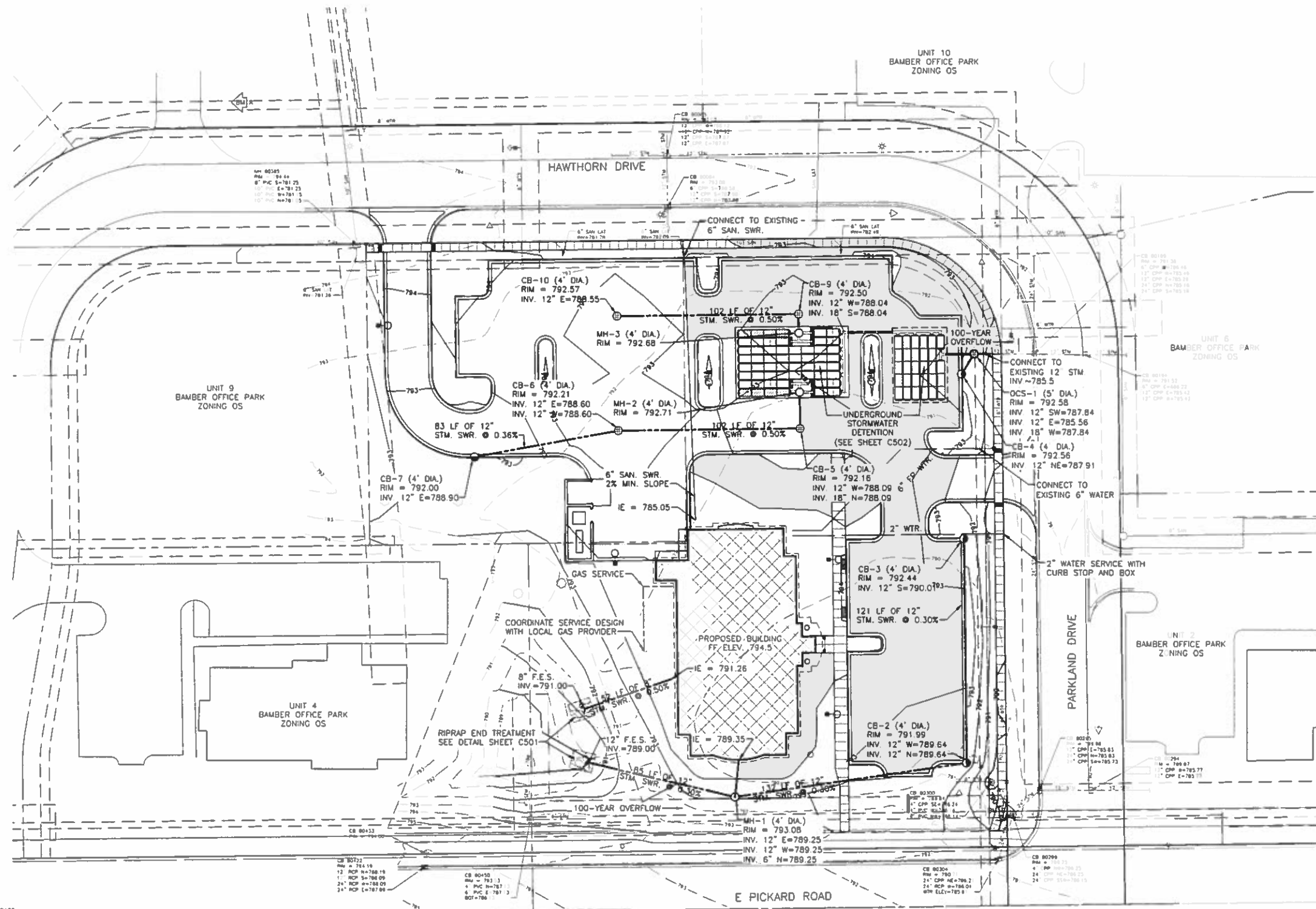
NOTES

1. FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO MATCH EDGE OF PAVEMENT.
2. STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
3. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
4. GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
5. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
6. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMES, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.



ENLARGED GRADING PLAN
SCALE: 1" = 10'
NORTH

PLOT: WFO 2/20/18 180560-C302-C302-180560.DWG LAYOUT: CMBZ DATE: 6/20/18 TIME: 3:14:17 PM USER: WMB



- BENCHMARKS**
- BENCH MARK A ELEVATION: 794.3
 CHISELED BOX ON TOP OF EAST END OF 21" CONC CURB END SECTION ON THE EAST SIDE OF DRIVE. CENTER OF OFFICE, NORTH SIDE OF HAWTHORNE DR.
 - BENCH MARK B ELEVATION: 789.78
 CHISELED BOX ON NORTH SIDE OF 54" CONC LID ON 12" BASH STRUCTURE. NW QUAD OF PARKLAND DR. AND PICKARD RD.
- LEGEND**
- 12" STM: STORM SEWER & MANHOLE
 - 8" SAN: SANITARY SEWER & MANHOLE
 - 12" WATER: WATER MAIN (DOMESTIC)
 - 12" FP: WATER MAIN (FIRE PROTECTION)
 - 4" FAVEMENT UNDERDRAIN
- UTILITY NOTES**
- EXISTING UTILITIES LOCATIONS SHOWN ARE APPROXIMATE.
 - VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO EXCAVATION WHERE NECESSARY.
 - PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT CROSSINGS.
 - DO NOT CONNECT ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER SERVICES TO THE SANITARY SEWER.
 - END SECTIONS ARE INCLUDED IN PIPE LENGTHS SHOWN.
 - PROVIDE RIPRAP AT ALL END SECTIONS UNLESS OTHERWISE NOTED.
 - PROVIDE AND MAINTAIN RILEY FILTERS AT ALL CATCH BASIN INLETS, DURING CONSTRUCTION.
 - WATER MAIN TO HAVE A MINIMUM OF 3.5 FEET OF COVER.
 - ADJUST ALL CASTINGS TO FINISH GRADES.
 - PIPE LENGTHS ARE TO CENTER OF STRUCTURES UNLESS NOTED OTHERWISE. ALL PIPE LENGTHS ARE FOR THE CONVENIENCE OF THE CONTRACTOR.
 - CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY STUB INVERTS AND NEW SERVICE CONNECTION INVERTS PRIOR TO ORDERING MATERIALS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.

REVISIONS

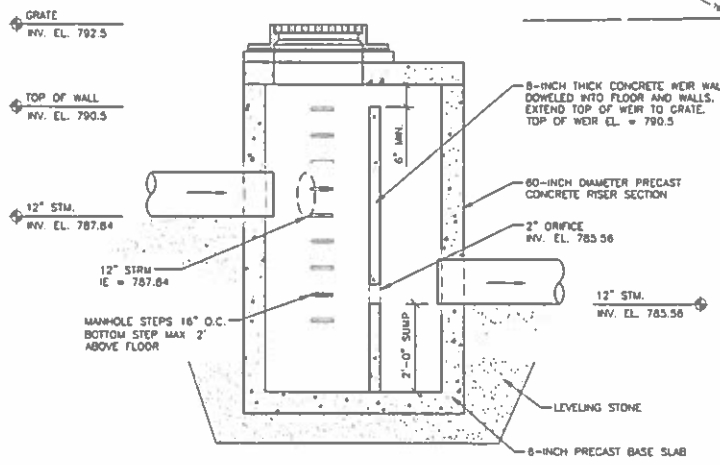
03/2019 SITE PLAN APPROVAL
 Drawn By: AMB
 Designer: WMB
 Reviewer: HMB
 Manager: NRT

Hard copy is intended to be 24"x36" when plotted. Scale(s) indicated and graphic quality may not be accurate for any other size.

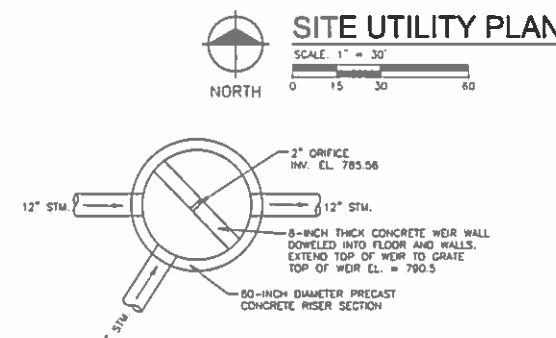
PROJECT NO.
180560
 SHEET NO.

C401

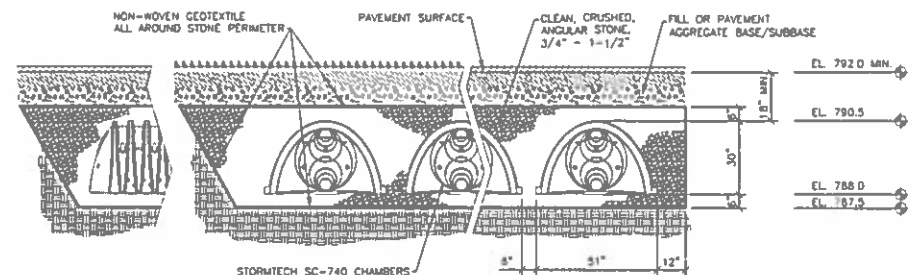
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OUTLET CONTROL STRUCTURE OCS-1 DETAIL
 NO SCALE



OUTLET CONTROL STRUCTURE TOP VIEW
 NO SCALE



UNDERGROUND STORMWATER DETENTION SECTION (SEE SHEET C502)
 NO SCALE

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Mercantile Bank
 Mount Pleasant, Charter Township of Union, Michigan
 2000 Parkland Drive

REVISIONS

03/2018	SITE PLAN APPROVAL
Drawn By	ADO
Designer	WMS
Reviewer	HMS
Manager	HRT

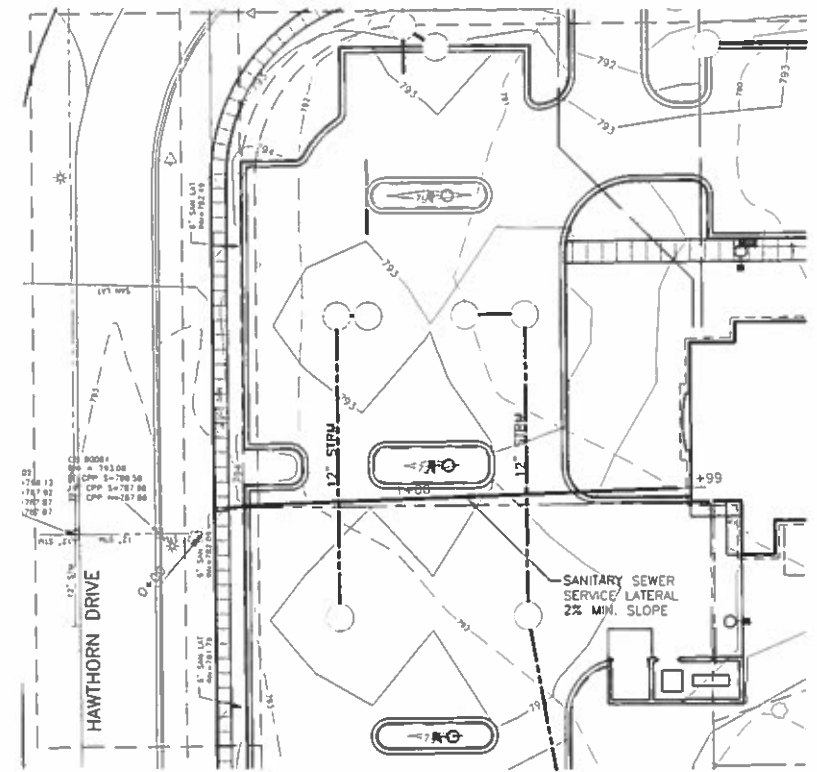
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PROJECT NO.
180560

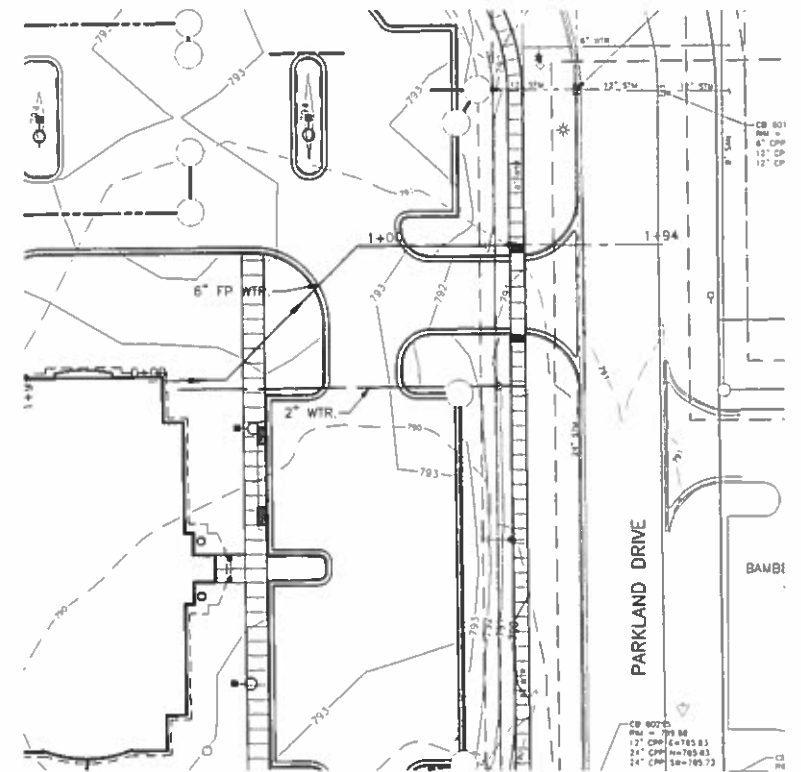
SHEET NO.

C402

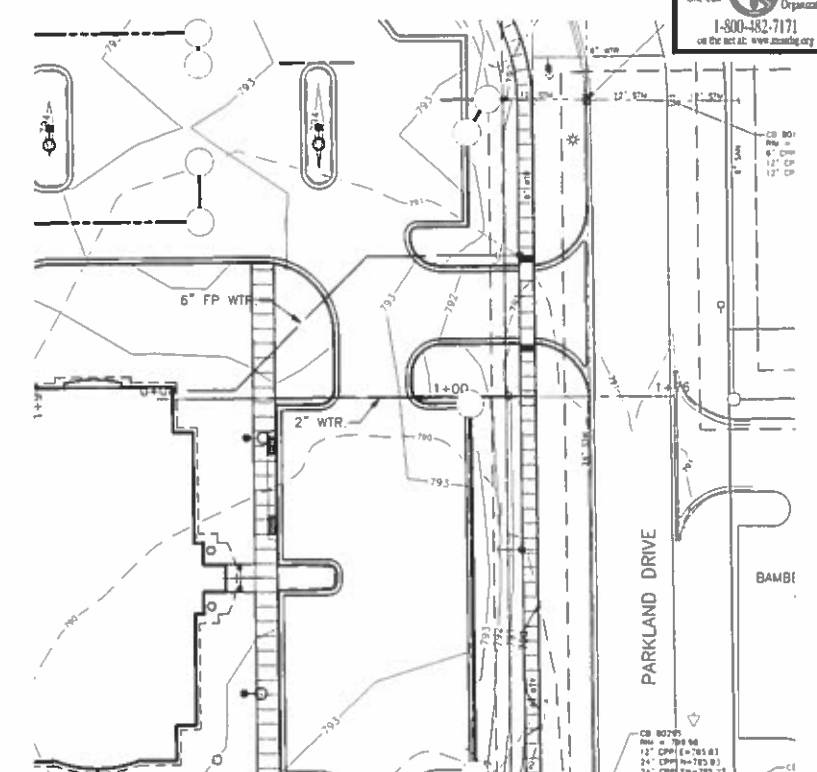
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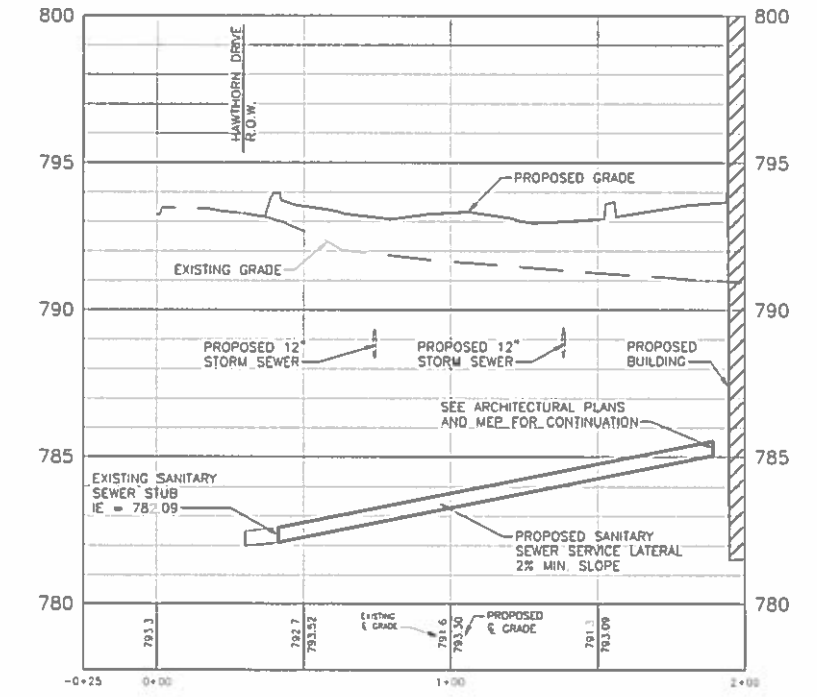
SANITARY SEWER PLAN
 SCALE 1" = 30'
 NORTH



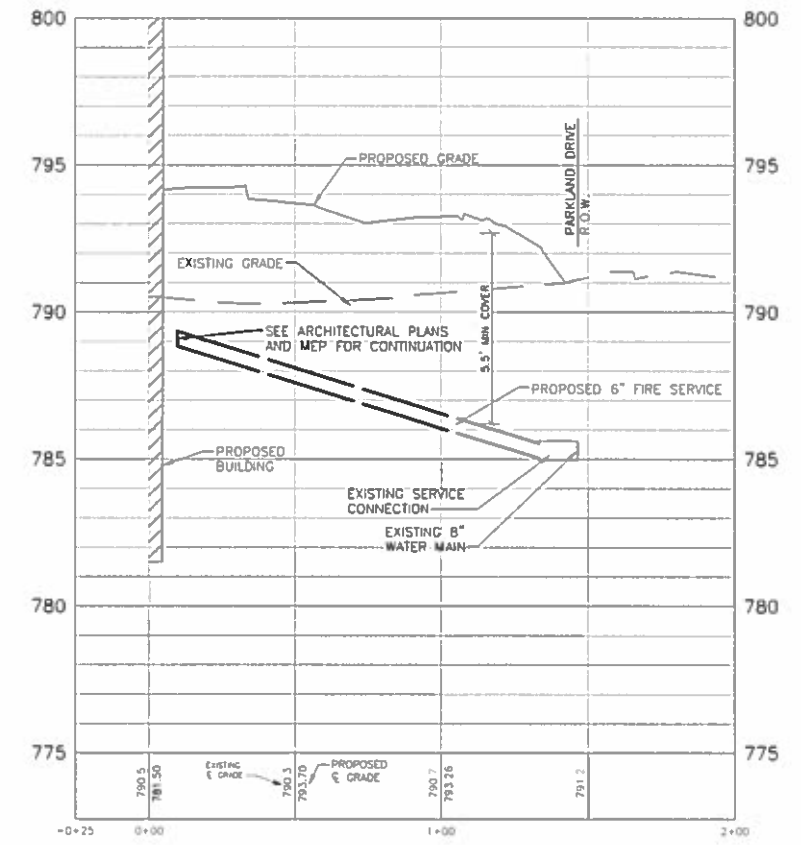
FIRE SERVICE PLAN
 SCALE 1" = 30'
 NORTH



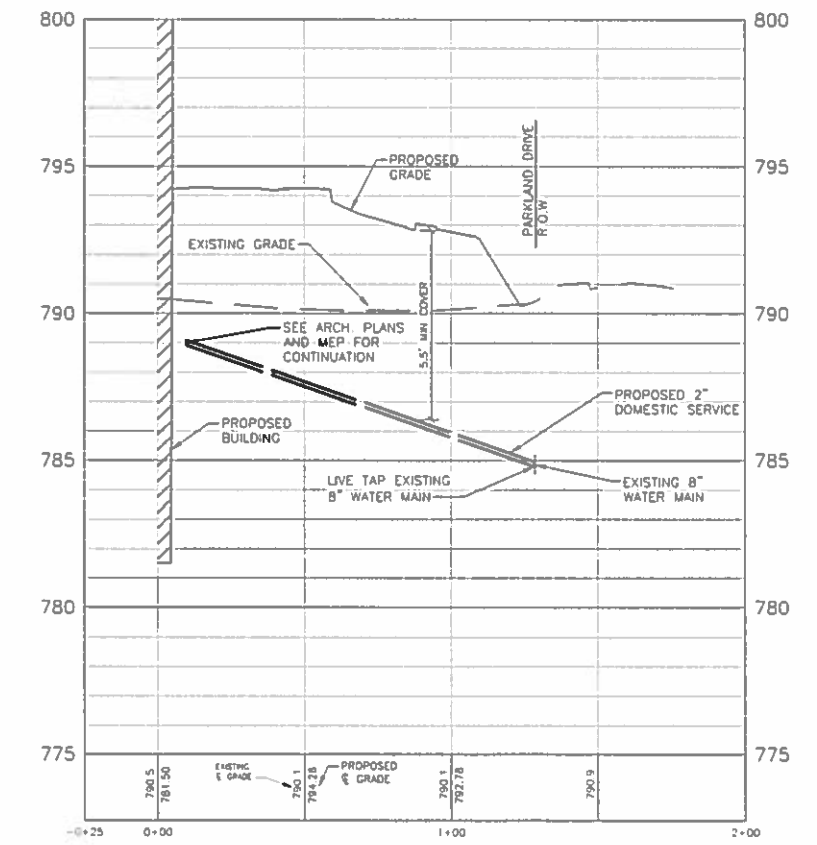
DOMESTIC SERVICE PLAN
 SCALE 1" = 30'
 NORTH



SANITARY SEWER PROFILE
 HORIZONTAL SCALE 1" = 30'
 VERTICAL SCALE 1" = 3'

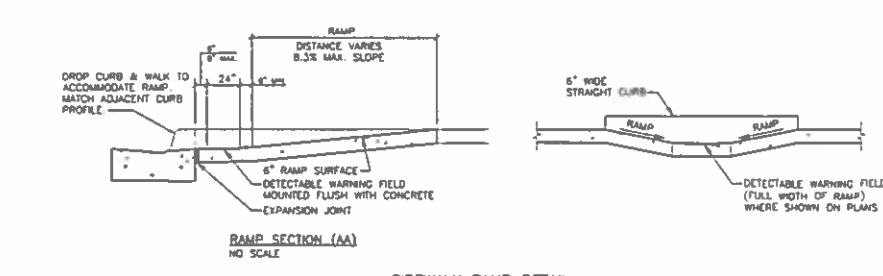
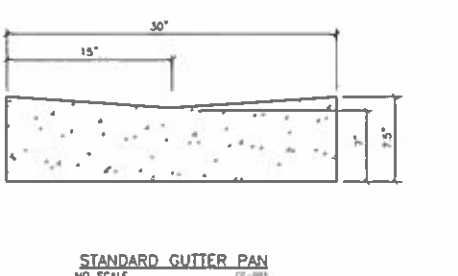
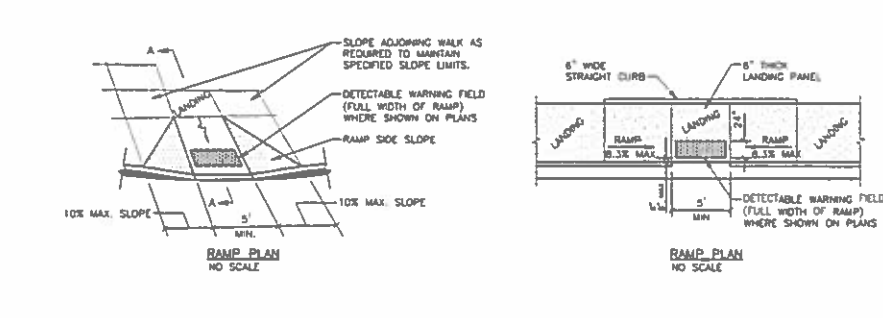
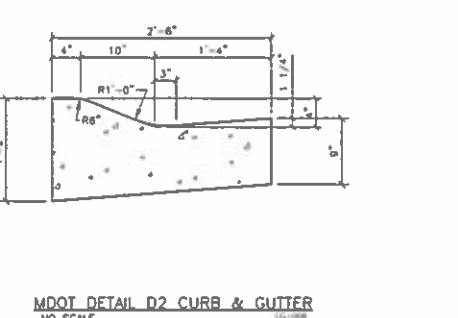
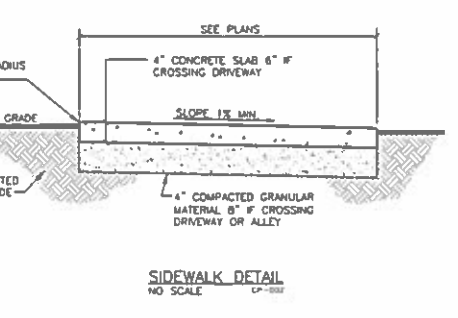
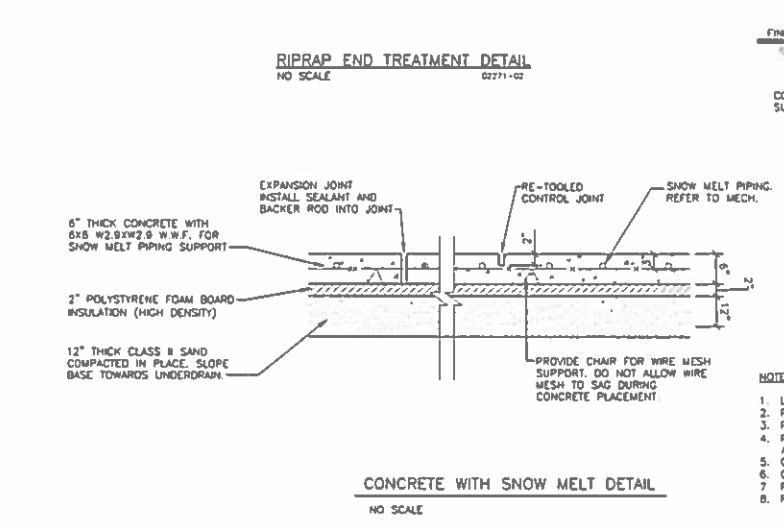
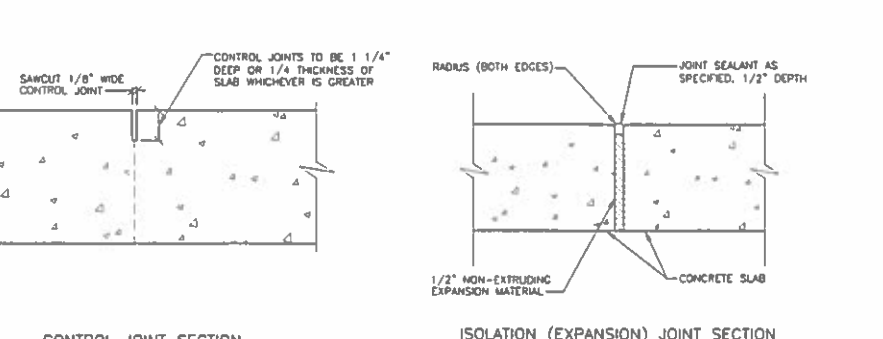
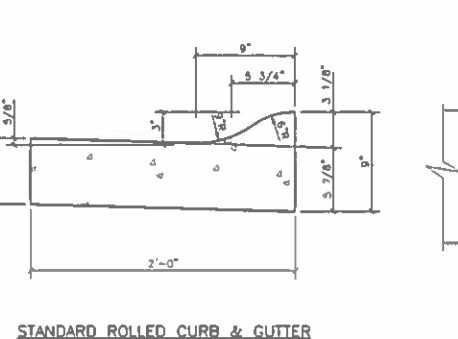
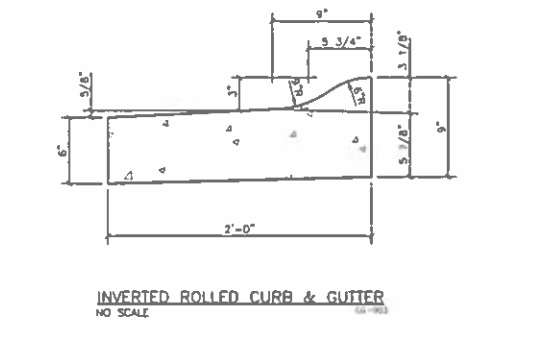
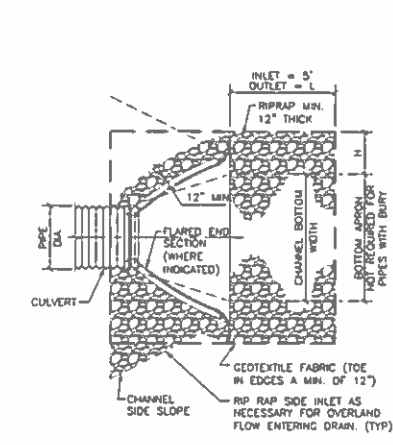
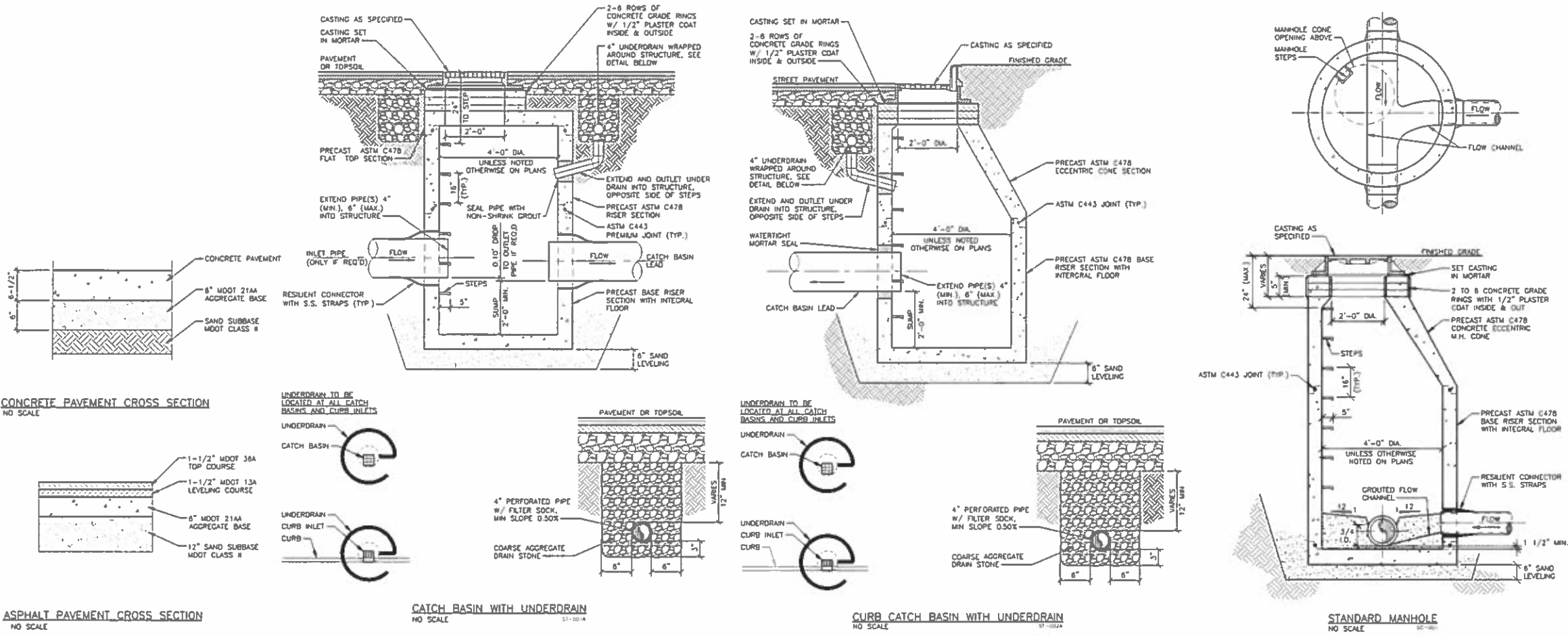


FIRE SERVICE PROFILE
 HORIZONTAL SCALE 1" = 30'
 VERTICAL SCALE 1" = 3'

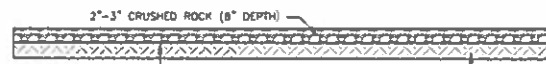
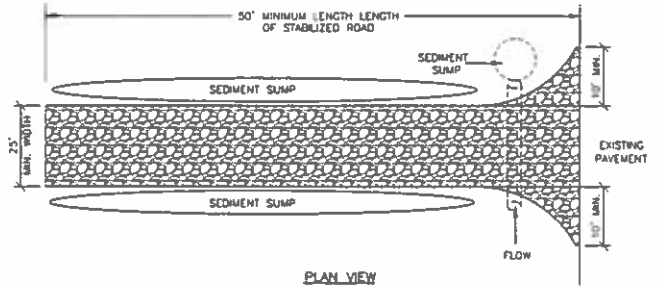


DOMESTIC SERVICE PROFILE
 HORIZONTAL SCALE 1" = 30'
 VERTICAL SCALE 1" = 3'

PLOT INFO 2/2018 180560/C402/CADD/C402/180560.DWG LAYOUT C402 DATE 03/2018 TIME 2:41:29 PM USER WMS



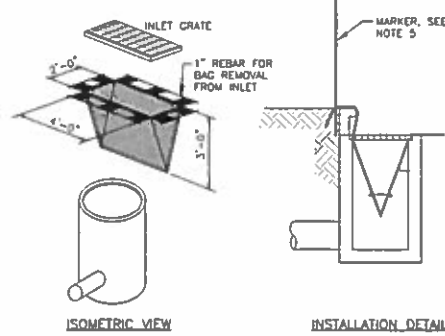
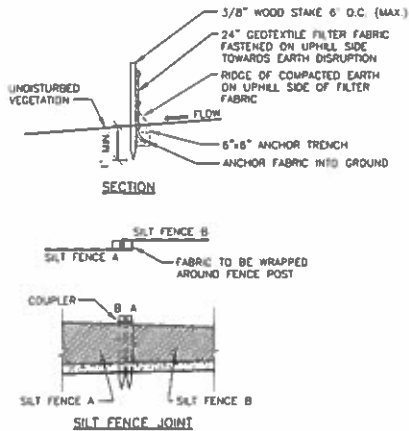
- NOTES:**
1. LOCATE CONTROL JOINTS PER LAYOUT PLANS.
 2. PROVIDE EXPANSION JOINTS EVERY 100' O.C., UNLESS SHOWN OTHERWISE.
 3. PROVIDE SEALANT AND BACKER ROD INTO EXPANSION JOINTS.
 4. PROVIDE 3/8" DIA. x 24" SMOOTH STEEL DOWEL @ 12" O.C. THROUGH JOINTS AT ALL PAVING JOINTS. WRAP OR TWIST FREE BAR BEFORE FINAL SLAB PLACEMENT.
 5. CONFIRM SNOWMELT PIPING AND DIAMETER WITH SNOW MELT INSTALLER.
 6. CONTROL JOINTS SHALL BE TOOLED IN (HOT SAW-CUT).
 7. PROVIDE SLEEVES FOR SNOW MELT TUBING AT ALL EXPANSION JOINTS.
 8. REFER TO MECHANICAL FOR SNOWMELT SYSTEM DETAILS.



NOTES:

1. ESTABLISH STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INITIATION OF SITE CONSTRUCTION ACTIVITIES IN LOCATION SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
2. REMOVE ALL VEGETATION, TOPSOIL, AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA.
3. GRADE FOUNDATION AND CROWN FOR POSITIVE DRAINAGE AWAY FROM PUBLIC ROAD IF POSSIBLE. IF THE SLOPE OF THE CONSTRUCTION ENTRANCE IS TOWARD A PUBLIC ROAD AND EXCEEDS TWO PERCENT, CONSTRUCT AN EIGHT INCH HIGH DIVERSION RIDGE WITH A RATIO OF 3-TO-1 SIDE SLOPES ACROSS THE FOUNDATION AREA ABOUT 15 FEET FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE ROAD.
4. INSTALL A CHUTE PIPE UNDER THE PAD IF NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE.
5. PLACE AGGREGATE TO THE DIMENSIONS AND GRADE SHOWN IN THE CONSTRUCTION PLANS, LEAVING THE SURFACE SMOOTH AND SLOPED FOR DRAINAGE.
6. DIVERT ALL STORM WATER RUNOFF AND DRAINAGE FROM THE INGRESS/EGRESS PAD TO A SEDIMENT TRAP OR BASIN.
7. INSPECT DAILY.
8. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.
9. TOP DRESS WITH CLEAN AGGREGATE AS NEEDED.
10. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS.
11. FLUSHING SHOULD ONLY BE USED IF THE WATER CAN BE CONVEYED INTO A SEDIMENT TRAP OR BASIN.

57 STABILIZED CONSTRUCTION ACCESS
NO SCALE



NOTES:

1. PLACE FILTER FABRIC BAG INSIDE THE INLET BENEATH THE GRATE.
2. REPLACE GRATE, WHICH WILL HOLD BAG IN PLACE.
3. ANCHOR FILTER BAG SO IT WILL NOT DROP INTO CATCH BASIN.
4. EXTEND FLAPS OF BAG BEYOND THE BAG. BURY IN SOIL IN EARTH AREAS.
5. IF CATCH BASIN IS IN A LOW DEPRESSION - MARK CB LOCATION WITH A MARKER TO ASSIST LOCATING CATCH BASIN IF FLOODING OCCURS.
6. INSPECT DROP INLET FILTERS ROUTINELY AND AFTER EACH RAIN EVENT.
7. REPLACE DAMAGED FILTER BAGS IMMEDIATELY.
8. CLEAN AND/OR REPLACE FILTER BAG WHEN 1/2 FULL. REPLACE CLOGGED FABRIC IMMEDIATELY.
9. VACUUM OUT CATCH BASIN SUMP IF FILTER BAG TEARS.
10. REMOVE ENTIRE PROTECTIVE MECHANISM WHEN UPGRADIENT AREAS ARE STABILIZED AND STREETS HAVE BEEN SWEEP AND/OR DIRECTED BY ENGINEER/OWNER.

56 INLET PROTECTION - FABRIC DROP
NO SCALE

54 SILT FENCE DETAIL
NO SCALE

NOTES:

1. CONSTRUCT SILT FENCE BEFORE UPSLOPE GROUND COVER IS REMOVED. CLEARING, GRUBBING, AND STUMPING CAN OCCUR BEFORE SILT FENCE INSTALLATION IF GROUND COVER IS NOT REMOVED.
2. PLACE ALL SILT FENCE PARALLEL TO THE SLOPE AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS THAT MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
3. INSTALL ENDS OF THE SILT FENCES UPSLOPE 12" IN ELEVATION SO THAT WATER POUNDED BY THE SILT FENCE WILL BE PREVENTED FROM FLOWING AROUND THE ENDS.
4. INSTALL THE TRENCH WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
5. WHERE TWO SECTIONS OF PREFABRICATED SILT FENCE ARE COMBINED INTO ONE RUN, THE END POSTS SHALL BE CONNECTED TOGETHER, NOT SIMPLY OVERLAPPED.
6. SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: A) AN ADDITIONAL RUN OF SILT FENCE SHALL BE PLACED UPSTREAM, B) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, C) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR D) OTHER BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED.
7. INSPECT FREQUENTLY AND IMMEDIATELY AFTER EACH STORM EVENT. CHECK SEVERAL TIMES DURING PROLONGED STORM EVENTS. IF NECESSARY, REPAIR IMMEDIATELY.
8. REMOVE SEDIMENT DEPOSITS WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE SILT FENCE.
9. REMOVE SILT FENCE ONLY WHEN ALL UPSTREAM VEGETATION IS FULLY ESTABLISHED AND DIRECTED BY ENGINEER/OWNER.

PROPOSED LAYOUT

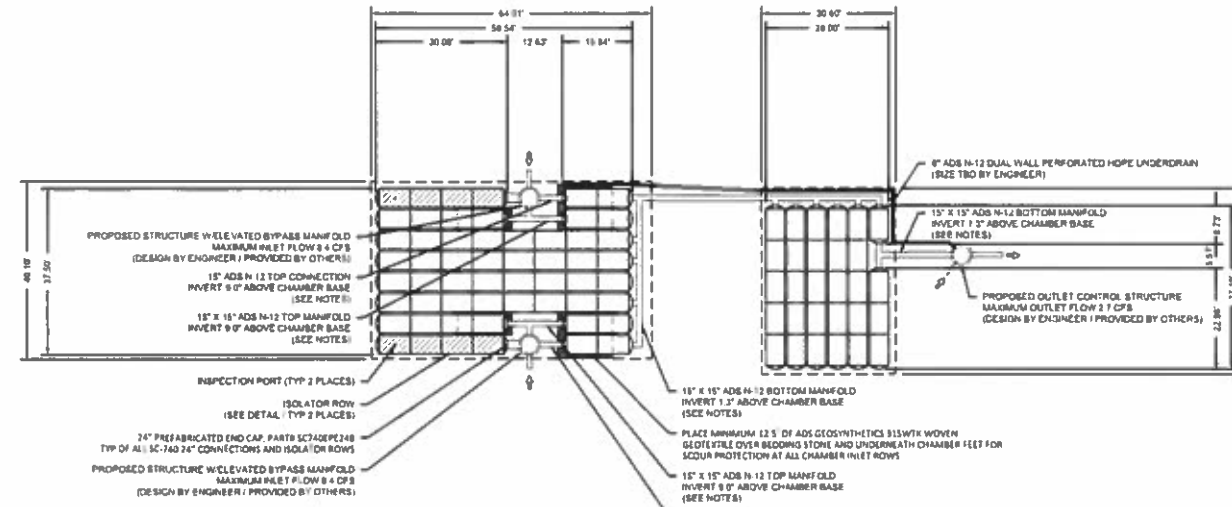
88	STORMTECH SC-740 CHAMBERS
38	STORMTECH SC-740 END CAPS
6	6\"/>

PROPOSED ELEVATIONS

780.50	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT UNPAVED)
782.50	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC)
782.00	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC)
787.00	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT)
782.00	MINIMUM ALLOWABLE GRADE (TOP OF RIGID PAVEMENT)
791.00	TOP OF STONE
780.50	TOP OF SC-740 CHAMBER
789.76	15\"/>

NOTES

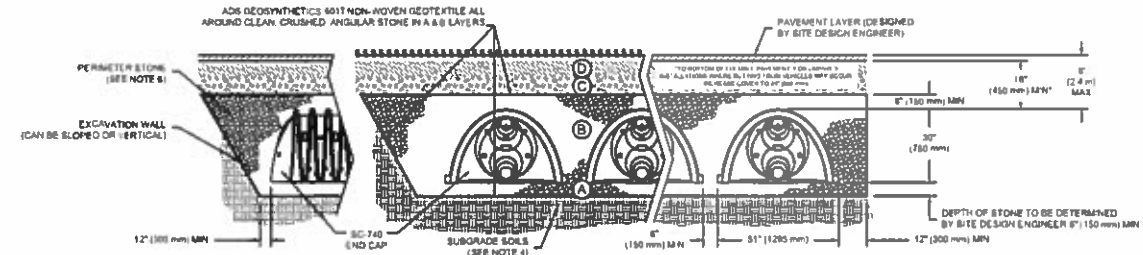
- MINIMUM OLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH SHEET #7 FOR MANHOLE SIZING GUIDANCE.
- DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PILES TO STANDARD MANHOLE COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST REVIEW VIBRATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL, AND PROVIDING THE BEARING CAPACITY OF THE SUBGRADE SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
- **NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.



ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D PRIMAL FILL: FILL MATERIAL OR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLAN. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	NA	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRONGER MATERIAL AND PREPARATION REQUIREMENTS.
C EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	GRANULAR WELLS-DRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE.	AASHTO M181 A-1, A-2, A-3 OR AASHTO M41 3.357 & 4.487, 5.56, 57, 57, 66, 7, 76, 8, 9, 9, 19	BEGIN COMPACTIONS AFTER 12\"/>
B FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN CRUSHED ANGLULAR STONE	AASHTO M41 3.357 & 4.487, 5.56, 57	NO COMPACTION REQUIRED.
A FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN CRUSHED ANGLULAR STONE	AASHTO M41 3.357 & 4.487, 5.56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE.

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN CRUSHED ANGLULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE "CLEAN CRUSHED ANGLULAR NO. 4 (AASHTO M41) STONE".
2. STORMTECH COMPACTON REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN DESIGN AND COMPACTED IN 4\"/>



NOTES:

1. SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2116 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" OR ASTM F2822 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
4. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
5. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
6. ONCE LAYER 'D' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

Stormtech
SC-740 CHAMBERS
SC-740 END CAPS
SHEET OF 5

Stormtech
SC-740 CHAMBERS
SC-740 END CAPS
SHEET OF 5

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www.ftch.com

Mercantile Bank
Mount Pleasant, Charter Township of Union, Michigan
2000 Parkland Drive

REVISIONS

15/05/18 SITE PLAN APPROVAL

Drawn By: ADO
Designer: WMB
Reviewer: HMB
Manager: HRT

Hard copy is intended to be 24"x36" when plotted. Scale(s) indicated and graphic quality may not be accurate for any other size.

PROJECT NO.
180560

SHEET NO.
C502

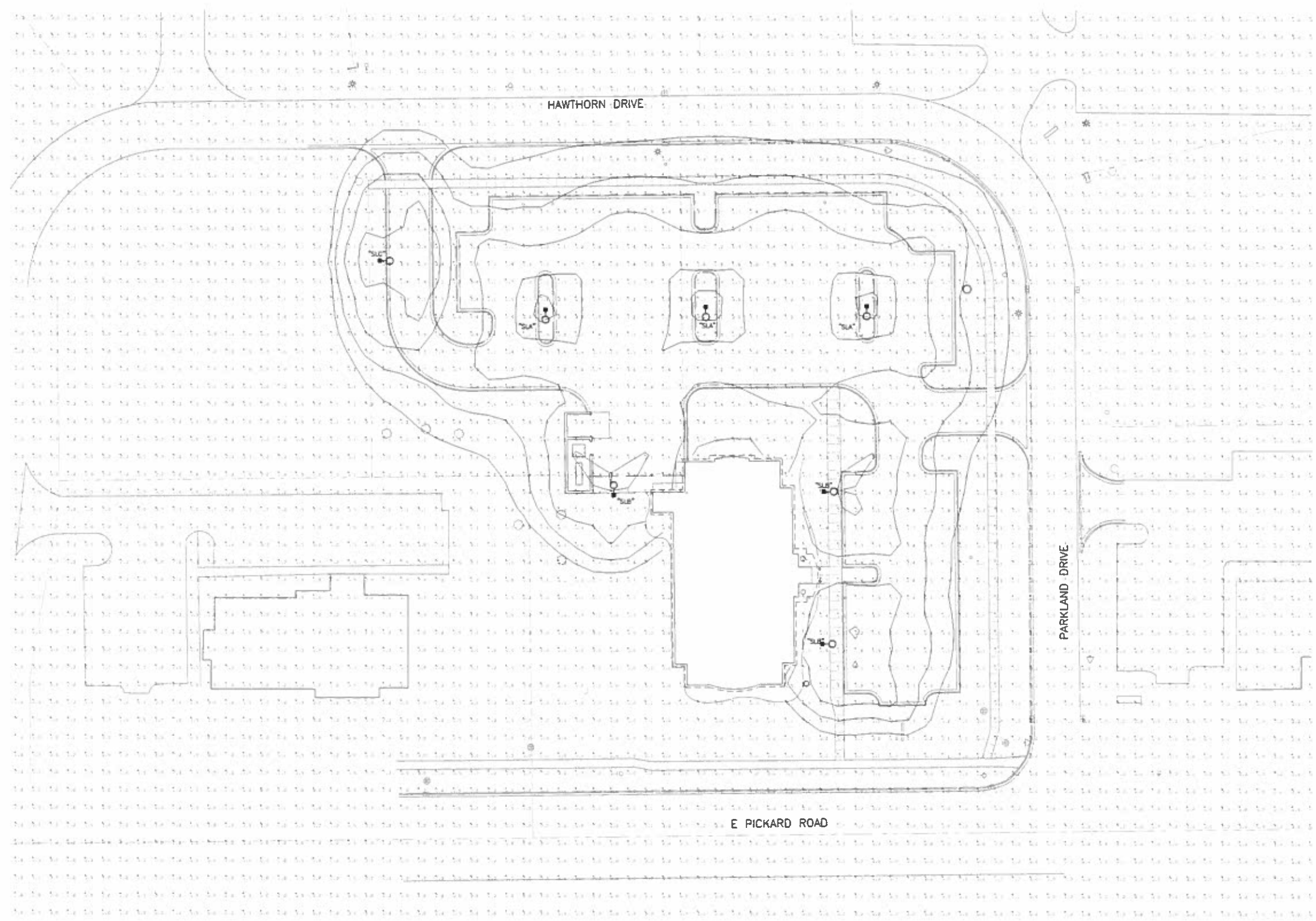
PLOT #07 7/23/18 16566C-C502-001-0000-DWG LAYOUT C502 DATE 6/22/18 TIME 2:43:00 PM USER YMB



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For more information call or e-mail us
www.fitch.com

Mercantile Bank
Mount Pleasant, Charter Township of Union, Michigan
2000 Parkland Drive



SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1" = 30'
NORTH

Label	Qty	Description	LLF	Lum. Watts	Lum. Lumens
SLA	3	OSQ-A-xx-SME-T-40K-ULxxxxx 25' Pole	1.010	166	21469
SLC	1	OSQ-A-xx-2ME-B-b/R-ULxxxxx 25' Pole	0.900	86	11648
SLB	3	OSQ-A-xx-4ME-B-30K-ULxxxxx 25' Pole	0.900	85.67	10229

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
StatArea 2	illumination	Fc	1.34	3.5	0.2	6.70	17.50

REVISIONS

03/02/18 | SITE PLAN APPROVAL

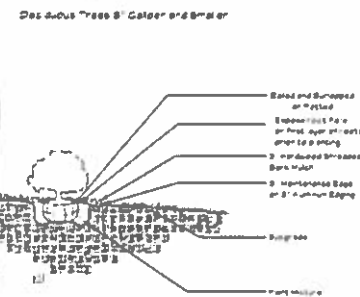
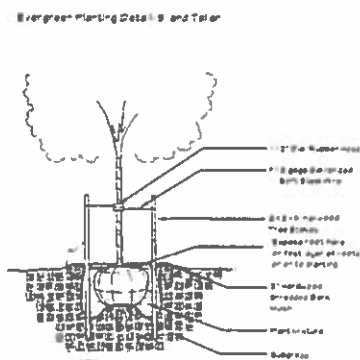
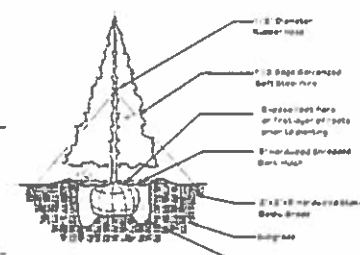
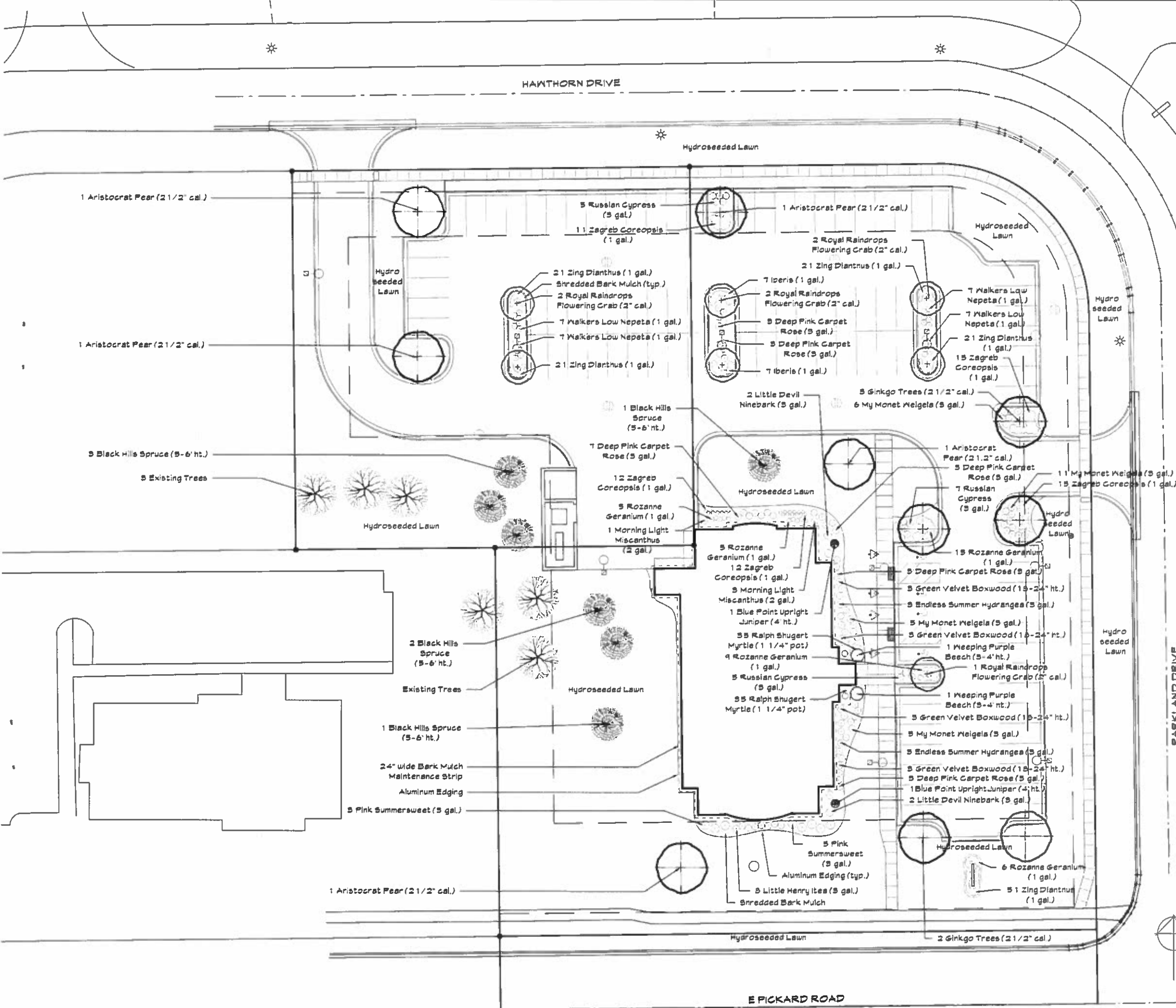
Drawn By: AGG
Designer: ARK/CS
Reviewer:
Manager: NRT

Hard copy is intended to be 24"x36" when plotted. Scale(s) indicated and graphic quality may not be accurate for any other size.

PROJECT NO
180560

SHEET NO

E101



Joyce E. Wise



Notes:

- 1 All landscaping shall be installed by a qualified Landscape Contractor. Plant sizes specified on the landscape plan shall be the size planted. Plants smaller than specified will be rejected.
- 2 All plantings shall be mulched with 2\"/>



PROPOSED LANDSCAPE PLAN FOR:
Mercantile Bank
 2000 Parkland Drive Union Twp., Michigan

AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS

Drawn By: Joyce E. Wise P.L.A. A.S.L.A.

Project Number: 180560

Drawing Date: 03/23/18

Issued For: 04-28-18 Site Plan Approval

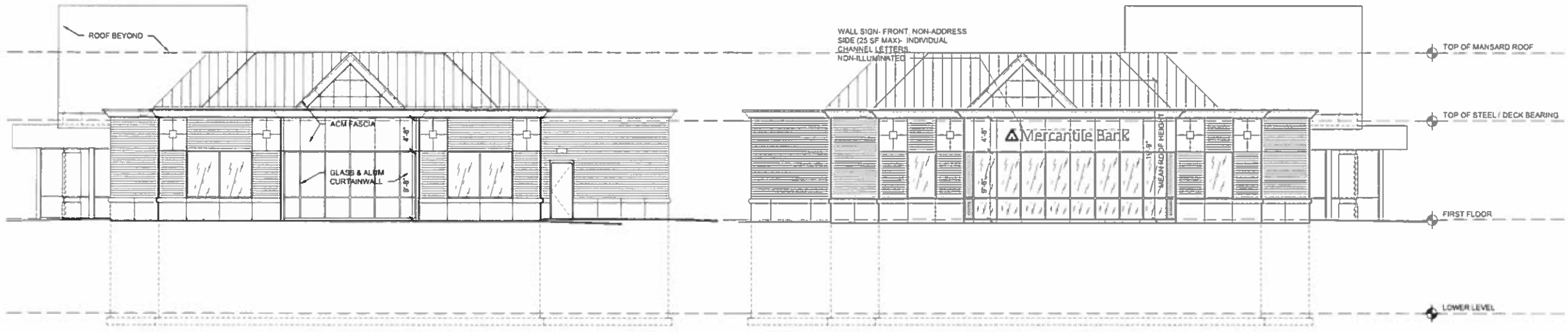
SCALE
1"=20'

SHEET
L101

Proposed:
Mercantile Bank
 2000 Parkland Drive
 Mt. Pleasant (Union Township), Michigan

ISSUED	SPA SUBMITTAL
06/24/2018	05/30/2019
REVISED SUBMITTAL	

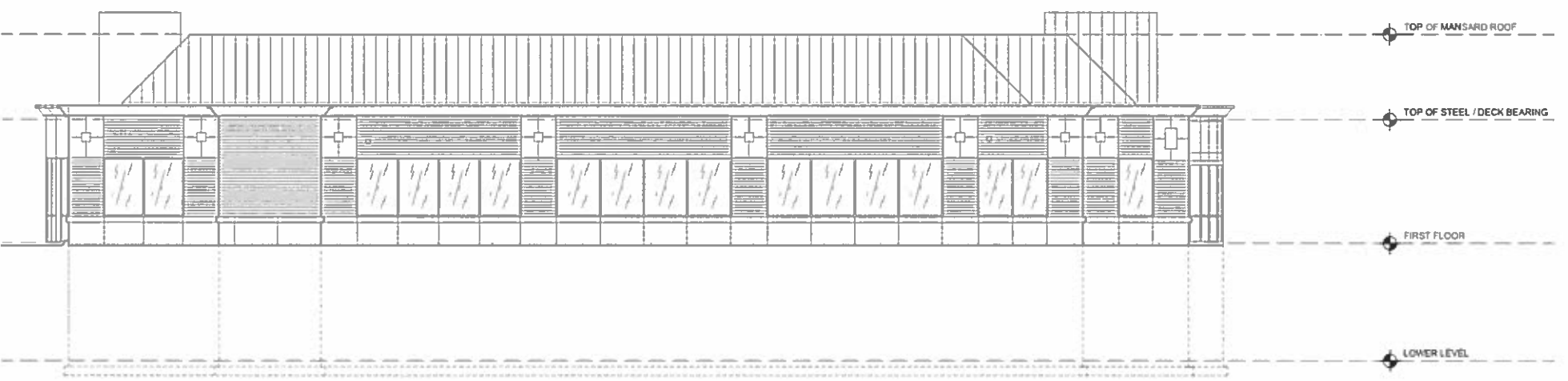
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 ELEVATIONS
 SHEET
A501
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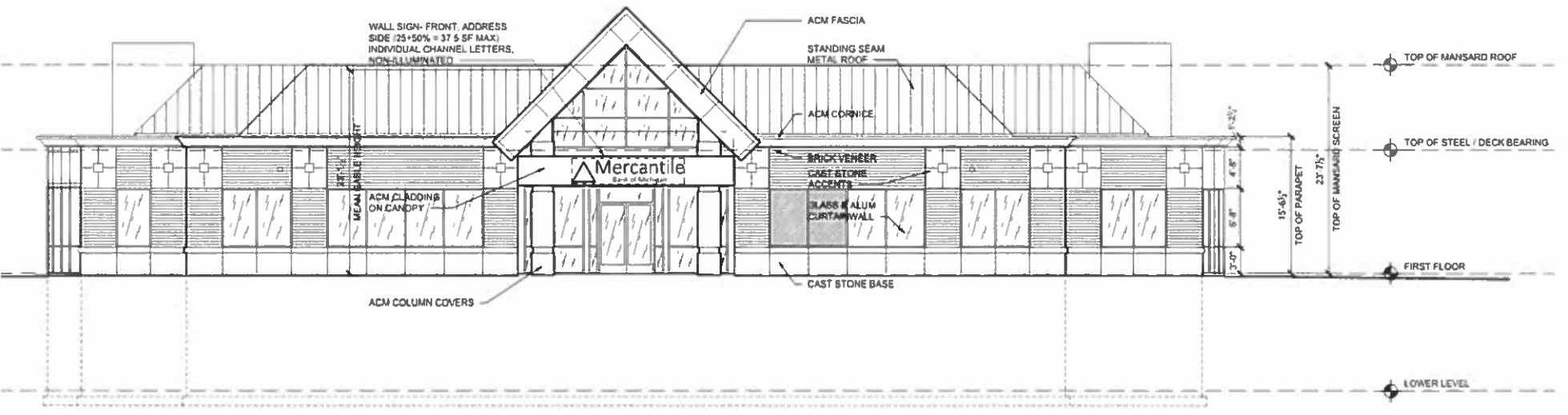
SOUTH ELEVATION
 SCALE: 1/8"=1'-0"

NORTH ELEVATION
 SCALE: 1/8"=1'-0"

EXTERIOR MATERIAL SCHED.				
MARK	MATERIAL	MANUFACTURER	COLOR/FINISH	REMARKS
FB	FACE BRICK	REDLAND BRICK	COLOR: HARMAR FT CHERRY ANTIQUE FLASHED (610), SIZE: 4X4X12 UTILITY	-
CS-1A	CAST STONE BULLNOSE	-	COLOR: BUFFSTONE	R1
CS-1B	CAST STONE BULLNOSE	-	COLOR: BUFFSTONE	R1
CS-2	CAST STONE PANEL	-	COLOR: BUFFSTONE	R1
CS-3	CAST STONE MEDALLION	-	COLOR: PEWTER	R1
CS-4	CAST STONE PANELS	-	COLOR: BUFFSTONE	R1
MP-1	METAL PANEL	-	ANODIZED ALUMINUM	-
MP-2	METAL PANEL	-	COPPER	-
MP-3	METAL PANEL CORNICE	-	CLEAR ANODIZED ALUMINUM	-
MP-4	METAL PANEL COLUMN COVER	-	CLEAR ANODIZED ALUMINUM	-
MP-5	METAL VERTICAL SIDING	-	WHITE	-
MR	STANDING SEAM METAL ROOF	-	CLEAR ANODIZED ALUMINUM	-
F-1	CURTAIN WALL FRAME	-	CLEAR ANODIZED ALUMINUM	-
F-2	STOREFRONT FRAME	-	CLEAR ANODIZED ALUMINUM	-
IG-1	INSULATED GLAZING	SOLAR ECLIPSE	REFLECTIVE BRONZE #2 EXTERIOR LOW-E COATING #3 SUNGATE (500) ON CLEAR GLASS INTERIOR	-
IG-2	INSULATED GLAZING	-	CLEAR GLASS EXTERIOR LOW-E COATING #3 ON CLEAR GLASS INTERIOR	-
SP-1	INSULATED GLASS SPANDREL	-	-	-
SP-2	INSULATED METAL SPANDREL	-	-	-
REMARKS R1 - SEE DETAILS ON SHEET A503 FOR DIMENSIONS OF CAST STONE				
*MWCJ - DENOTES MASONRY WALL CONTROL JOINT				
GENERAL NOTES				



WEST ELEVATION
 SCALE: 1/8"=1'-0"



EAST ELEVATION
 SCALE: 1/8"=1'-0"

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